

# **Miami River Commission Public Meeting Minutes April 4, 2022**

The Miami River Commission's (MRC) public meeting convened at noon, April 4, 2022.

## **Miami River Commission (MRC) Policy Committee Members and/or Designees attending:**

Patty Harris, designee for Governor  
Commissioner Eileen Higgins, Board of County Commissioners  
Neal Schafers, Designee for Downtown Development Authority  
Bruce Brown, Miami River Marine Group  
Sallye Jude, Neighborhood Rep. Appointed by Miami-Dade County  
John Michael Cornell, Designee for Luis Garcia  
Tom Kimen, Neighborhood Representative appointed by City of Miami  
Nilo Cuervo, designee for ST Attorney Katherine Fernandez-Rundle  
Sandy O'Neil, designee for Greater Miami Chamber of Commerce  
Phil Everingham, designee for Miami Marine Council

## **MRC Staff:**

Brett Bibeau, Managing Director

## **Others attending interested in the River:**

Sign in sheets available upon request.

## **D) Chair's Report**

The Miami River Commission unanimously adopted their March public meeting minutes.

MRC Chairman Aguirre provided the following report:

I had a very effective trip to Tallahassee this legislative session, and I'm happy to announce that the renewal of the MRC's \$150,000, for which the details were distributed last month, are currently included in the Florida Legislature's final adopted Fiscal Year '22-'23 Budget. I would like to thank our bill sponsors, Senator Ileana Garcia and Representative Nick Duran. In addition, I thank Commissioner Higgins and the County Commission for including this item in the County's Legislative requests. I thank the over 30 Miami River neighborhood associations, condominium associations, businesses, etc. which recently wrote letters to Governor DeSantis in support of the funding.

I would like to publicly thank MRC board member Mike Simpson, Sightseeing Tours Management for graciously providing the hard working Miami River Maintenance employee's a complimentary 2 hour cruise aboard the Island Queen, including open bar. Needless to say, the workers felt like royalty, and have repeatedly expressed their sincere appreciation for their memorable enjoyable evening.

## **II) Presentation Regarding Proposed Development at 99 SW 7 ST**

Ms. Iris Escarra, Greenberg Traurig, and Harvey Hernandez, Newgard Group, presented the provided and distributed plans, letter of intent, and voluntary covenant for a proposed riverfront development at 99 SW 7 ST, featuring 782 residential units and 791 parking spaces, known as “One Brickell Riverfront”. The proposal is consistent with the current zoning, land use, and the public Riverwalk will comply with the code requirements of Section 3.11, Appendix B, and the Baywalk Riverwalk Design Standards and Guidelines, including the FPL easement area.

MRC Subcommittee Chairman Murley suggested the work with the City regarding transportation in the subject area which features a dead end street, etc. The applicants stated a traffic study is required by both the City and County.

**The MRC unanimously recommended approval of the proposed development on partially vacant land located in the lower River at the intersection of the Public Riverwalk and the Underline with the following conditions:**

- 1) Meet with County and Underline, and do not jeopardize Underline**
- 2) Consider Florida Friendly Landscape**
- 3) Provide seamless public Riverwalk connections to the east and west as required by code**
- 4) Bring potential Marine Operating Permit or vessel dockage back to MRC in future**

## **III) Discussion Regarding Idle No Wake Speed Zone, Illegal Charters, and Noise Ordinance Related to Vessels**

MRC Chairman Aguirre stated a few months ago he had asked during a public MRC meeting for anyone to submit suggested future MRC agenda items. We received three replies, all of which asked for this important item to be considered again by the MRC.

A quick update on this important issue, before I recognize the various wonderful Federal, State, County and City Law Enforcement agencies whom thankfully accepted the MRC’s cordial invitation to participate in today’s public meeting, followed by public comments, questions and answers.

Since the last MRC meeting on this topic, the MRC thanks the City of Miami Commission for including in their FY 22-23 Budget an additional 5 City Marine Patrol officers, and the Board of County Commissioners for including in their FY 22-23 Budget an additional 4 County Marine Patrol officers. There is an important and lengthy process to filling budgeted police positions, and to date the City Marine Patrol has filled 2 of their additional budgeted 5 officers.

I thank Senator Ileana Garcia for sponsoring SB606, which was thankfully approved by the Florida Legislature and is helpful new legislation to assist with this important and difficult issue.

I thank the 6 City of Miami Police Rangers whom took time away from their Parks to get a multi-day training on how to enforce this tricky issue.

In addition, I thank MRC board member John Michael Cornell from Hurricane Cove marina which generously donated a valuable free boat slip which is now being used by Florida Fish and Wildlife.

The following Law Enforcement Agencies made presentations

1. James Head, United States Coast Guard
2. Capt. Shipp, Florida Fish and Wildlife
3. SGT Ravelo, Miami-Dade County Marine Patrol
4. LT Valdes, City of Miami Marine Patrol

Numerous Miami River residents and business owners stated the Miami River (and Biscayne Bay) are suffering from excessive violations of the idle no wake speed zone, which causes a serious hazard to navigation, public safety, the "Threatened" Manatees, and damages docks and vessels. In addition, there are illegal boat charters with more passengers than the vessels are designed to safely carry, playing very loud music well over the volume allowed in the City's noise ordinance.

City of Miami Police are broken into upland geographic districts. City of Miami Marine Patrol's area to patrol is physically larger than an upland police district, while the Marine Patrol has less officers than an upland police district, and the level of crime is greater for Marine Patrol than it is in many upland police districts. Last year the City Marine Patrol issued 2,000 tickets and made 200 arrests.

Mike Simpson suggested cross referencing Charter Vessel's Business Tax Receipts issued by the City to Marine, to Marine Operating Permits issued by County, and the City's Zoning and Land Use, to ensure the addresses provided for the BTR are legitimate with the appropriate approvals for this type of use.

Mike Simpson made a motion for the MRC to join with Miami River residents and businesses in immediately respectfully recommending the Honorable City and County Commissions take another necessary step forward on this issue by including another plus 5 City Marine Patrol Officers, and another plus 4 County Marine Patrol Officers, in their respective subsequent Fiscal Year '22 - '23 budgets. County Commissioner Higgins stated she wanted to communicate with the County Marine patrol before voting on the item. Therefore, MRC Chairman Aguirre asked for the item to be voted on at the subsequent MRC public hearing.

The public meeting adjourned.

# Miami River Commission Public Meeting

April 4, 2022 - Noon

Miami-Dade Library, 101 W Flagler ST

Name	Organization	Telephone	Email
Richard Murphy	River Resident	786.525.5353	RMOGGI@mol.com
Judith Gatt	River Owner	305-324-3694	jgatt@gmail.com
Sean Bailey	RMK MEMILL STEVENS	920-901-4646	SEANBAILEY2222@YAHOO.
Rick Hambley	Rmk Memill Stevens	954 709 1423	Rick@rmkms.com
Martin Fenton	One Miami Condo Board	786 374 6444	mxfenton@gmail.com
Fran Fenton	RIVER OWNER	786 262 4919	franfenton@gmail.com
Daniel Rodriguez	City of Miami PD	786-286-2024	5964@miami-police.org
MICHAEL Barrios	Miami-Dade P.D.	305-283-6680	4367752@mdpd.com
Oscar J. Ravelo	Miami Dade	305-301-7088	4304408@mdpd.com
Tom Shipp	FWC	8502517278	thomas.shipp@MyFWC.com
Daniel Silva	Code	71696-0231	dsilva@miamigov
Brian Dombrowski	GT	31579-0630	Dombrowski30.com
Nancy Jackson	BCC, DS	305-213-0118	jt12.com
JOHN R. LAWRENCE	RIVER RESIDENT	786-878-9574	JRLPHOTOS@HOTMAIL.COM
Mark Bailey	Miami River Marine Group	305-637-7787	mark.bailey@miamirivermarinegroup.org
Brett Bibeau	MRC	3056440544	brettbibeau@miamirivercommission.org

**Miami River Commission Public Meeting**

April 4, 2022 - Noon

Miami-Dade Library, 101 W Flagler ST

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**Organization**

**Telephone**

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Miami River Commission Public Meeting

April 4, 2022 - Noon

Miami-Dade Library, 101 W Flagler ST

Name	Organization	Telephone	Email
Priscilla Greenfield-Murray	Spring Garden Civic Assoc	305 965-0763	Priscillaegm @BellSouth.net
Judith Paul	Spring Garden Civic Assoc.		jpaul703@bellsouth.net
Anna Brautigam	Sreckell Kay Master arborist	305-495- 1540	abrautigam@bkna. info
Megan Kelly	Attorney, City of Miami		megankelly065@ gmail.com
Mike Simpson John Cornwell	Island Green MRC		Mike@15th Green.com
PATRICIA HARRIS	MRC		jmcornell@earthlink.net PATTYKAK@GMAIL.COM
Jim Murley	MRC		James Murley @ Miami Lake gov.

# Miami River Commission Public Meeting

April 4, 2022 - Noon

Miami-Dade Library, 101 W Flagler ST

Name	Organization	Telephone	Email
Haracia Aguiar	MRC	—	—
Eileen Higgins	BCC		
Neal Schafers	Miami DDA		Schafers@miami. dda.com
Phil Everingham	MRC/Marine Council	305 951-9096	peverm@dhotmail.com
Roselvic Noguera	MRC	786 683 6557	rnoguera@antillean.com
Bruck Brown	MRC	305 788 6111	bruck@brown/south.com
Harvey Hernandez	NEWGARD	305 938 5707	hhernandez@newgardgroup.com
YULESIS IZQUIERDO	ARQUITECTONICA	305 525 7112	yizquierdo@arquitectonica.com
BROWLEY KELLY	NEWGARD	954 621-4100	BKELLY@NEWGARDGROUP.COM
Brook Dannemiller	Urban Robot Associates	786-246-4857	brook@urbanrobot.net
Yacmany Salvatierra	City of Miami (code)	786 696 0034	ysalvatierra@miamigo.com
Jorge Cantero		305 793 5197	Jorgecantero88@gmail.com

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1  
2 An act relating to boating safety; providing a short  
3 title; amending s. 327.30, F.S.; authorizing a court  
4 to impose a specified fine for certain boating  
5 collisions and accidents; requiring such fines to be  
6 deposited into the Marine Resources Conservation Trust  
7 Fund for specified purposes; defining terms; amending  
8 s. 327.395, F.S.; requiring certain boating safety  
9 education courses and temporary certificate  
10 examinations to include specified components;  
11 directing the Fish and Wildlife Conservation  
12 Commission to include such components in boating  
13 safety education campaigns and certain educational  
14 materials; amending s. 327.50, F.S.; requiring  
15 operators of vessels used in the instruction of water  
16 sports and activities to use engine cutoff switches  
17 and wear operative links to the switches under certain  
18 conditions; amending s. 327.54, F.S.; defining terms;  
19 prohibiting liveries from offering a vessel for lease  
20 or rent without a livery permit; specifying  
21 requirements and qualifications for the permit;  
22 authorizing the Fish and Wildlife Conservation  
23 Commission to adopt rules; providing penalties for  
24 permit violations; revising the conditions under which  
25 a livery may not knowingly lease or rent a vessel;  
26 requiring a person receiving safety instruction to  
27 provide the livery with a specified signed  
28 attestation; requiring a written agreement between a  
29 livery and a renter or lessee; providing requirements



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30 for such agreement; requiring a livery to notify law  
31 enforcement of overdue rentals or leases under certain  
32 circumstances; prohibiting a livery from knowingly  
33 leasing or renting a livery vessel to certain persons;  
34 providing an exception; revising livery insurance  
35 requirements; providing applicability; requiring  
36 specified boating safety education courses for certain  
37 instructors; requiring liveries to report certain  
38 accidents to the Division of Law Enforcement of the  
39 commission; requiring liveries to make facilities and  
40 records available to law enforcement upon notice;  
41 providing penalties for violations and additional  
42 penalties for subsequent violations; prohibiting  
43 certain violators from acting as a livery for a  
44 specified timeframe after such a violation;  
45 authorizing the commission, beginning on a specified  
46 date, to revoke or refuse to issue permits for  
47 repeated violations; amending s. 327.73, F.S.;  
48 increasing fines for violations of certain boating  
49 regulations; providing fines for improper transfers of  
50 title and failures to update vessel registration  
51 information; authorizing certain fees and penalties  
52 deposited into the Marine Resources Conservation Trust  
53 Fund to be used for law enforcement purposes; amending  
54 s. 327.731, F.S.; imposing a fine for persons  
55 convicted of certain criminal or noncriminal  
56 infractions; providing for the deposit of such fines  
57 into the Marine Resources Conservation Trust Fund;  
58 requiring the commission to maintain a program to

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59 ensure compliance with certain boating safety  
60 education requirements; specifying requirements for  
61 the program; amending s. 328.03, F.S.; providing that  
62 an improper transfer of vessel title is subject to a  
63 civil penalty; amending s. 328.48, F.S.; requiring  
64 that the address provided in a vessel registration  
65 application and a certificate of registration be a  
66 physical residential or business address; authorizing  
67 the commission to accept post office box addresses in  
68 lieu of the physical residential or business address;  
69 providing that a person who fails to update his or her  
70 vessel registration information within a specified  
71 timeframe is subject to a civil penalty; providing  
72 effective dates.

73  
74 Be It Enacted by the Legislature of the State of Florida:

75  
76 Section 1. This act may be cited as the "Boating Safety Act  
77 of 2022."

78 Section 2. Subsection (7) is added to section 327.30,  
79 Florida Statutes, to read:

80 327.30 Collisions, accidents, and casualties.—

81 (7) In addition to any other penalty provided by law, a  
82 court may order a person convicted of a violation of this  
83 section or of any rule adopted or order issued by the commission  
84 pursuant to this section to pay an additional fine of up to  
85 \$1,000 per violation. All fines assessed and collected pursuant  
86 to this subsection shall be remitted by the clerk of the court  
87 to the Department of Revenue to be deposited into the Marine

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88 Resources Conservation Trust Fund to be used to enhance state  
89 and local law enforcement activities related to boating  
90 infractions. As used in this subsection, the terms "convicted"  
91 and "conviction" mean any judicial disposition other than  
92 acquittal or dismissal.

93 Section 3. Effective October 1, 2022, subsection (4) of  
94 section 327.395, Florida Statutes, is amended to read:

95 327.395 Boating safety education.—

96 (4) A commission-approved boating safety education course  
97 or temporary certificate examination developed or approved by  
98 the commission must include components ~~a component~~ regarding:

99 (a) Diving vessels, awareness of divers in the water,  
100 divers-down warning devices, and the requirements of s. 327.331.

101 (b) The danger associated with:

102 1. A passenger riding on a seat back, gunwale, transom,  
103 bow, motor cover, or any other vessel area not designed and  
104 designated by the manufacturer for seating.

105 2. A passenger falling overboard.

106 3. Operating a vessel with a person in the water near the  
107 vessel.

108 4. Starting a vessel with the engine in gear.

109 5. Leaving the vessel running when a passenger is boarding  
110 or disembarking.

111 (c) The proper use and lifesaving benefits of an engine  
112 cutoff switch for motorboats and personal watercraft.

113  
114 The commission must include the components under this subsection  
115 in boating safety education campaigns and in educational  
116 materials produced by the commission, as appropriate.

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117 Section 4. Effective October 1, 2022, subsection (4) is  
118 added to section 327.50, Florida Statutes, to read:

119 327.50 Vessel safety regulations; equipment and lighting  
120 requirements.—

121 (4) The operator of a vessel used in the instruction of a  
122 water sport or activity must use an engine cutoff switch and  
123 wear an operative link to the switch when a person participating  
124 in the water sport or activity is in the water.

125 Section 5. Effective January 1, 2023, section 327.54,  
126 Florida Statutes, is amended to read:

127 327.54 Liveries; safety regulations; penalty.—

128 (1) As used in this section, the term:

129 (a) "Advertise" means to describe or draw attention to a  
130 vessel and its availability for lease or rental in any medium  
131 for the purpose of promoting the lease or rental of the vessel.

132 (b) "Conviction" means any judicial disposition other than  
133 acquittal or dismissal.

134 (c) "Livery" means a person who advertises and offers a  
135 livery vessel for use by another in exchange for any type of  
136 consideration when such person does not also provide the lessee  
137 or renter with a captain, a crew, or any type of staff or  
138 personnel to operate, oversee, maintain, or manage the vessel.  
139 The owner of a vessel who does not advertise his or her vessel  
140 for use by another for consideration and who loans or offers his  
141 or her vessel for use to another known to him or her either for  
142 consideration or without consideration is not a livery. A public  
143 or private school or postsecondary institution located within  
144 this state is not a livery. A vessel rented or leased by a  
145 livery is a livery vessel as defined in s. 327.02.

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146        (d) "Seaworthy" means the vessel and all of its parts and  
147 equipment, including, but not limited to, engines, bilge pumps,  
148 and kill switches, are functional and reasonably fit for their  
149 intended purpose.

150        (2) A livery may not offer a vessel for lease or rent  
151 without first being issued a no-cost livery permit by the  
152 commission. The permit must be renewed annually. To qualify for  
153 issuance or renewal of a livery permit, an applicant must  
154 provide the commission with a list of all vessels offered by the  
155 livery for lease or rent by another, have valid insurance  
156 pursuant to subsection (7), have an amount of United States  
157 Coast Guard-approved lawful personal floatation devices on site  
158 sufficient to accommodate the capacity of all vessels offered by  
159 the livery for rent or lease by another, have on site all safety  
160 equipment required by s. 327.50 and the Code of Federal  
161 Regulations sufficient to equip all vessels offered by the  
162 livery for rent or lease by another, and display the information  
163 required by paragraph (3) (f). If, before the annual renewal of  
164 the permit, the information required by this subsection changes,  
165 the livery must provide the commission with the updated  
166 information within 10 days after the change.

167        (a) The commission may adopt rules to implement this  
168 subsection.

169        (b) A person who violates this subsection commits a  
170 misdemeanor of the first degree, punishable as provided in s.  
171 775.082 or s. 775.083.

172        (3) A livery may not knowingly lease, ~~hire,~~ or rent a  
173 vessel to any person:

174        (a) When the number of persons intending to use the vessel

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175 exceeds the number considered to constitute a maximum safety  
176 load for the vessel as specified on the authorized persons  
177 capacity plate of the vessel.

178 (b) When the horsepower of the motor exceeds the capacity  
179 of the vessel.

180 (c) When the vessel does not contain the ~~required~~ safety  
181 equipment required under s. 327.50.

182 (d) When the vessel is not seaworthy, is a derelict vessel  
183 as defined in s. 823.11, or is at risk of becoming derelict as  
184 provided in s. 327.4107.

185 (e) ~~When the vessel is equipped with a motor of 10~~  
186 ~~horsepower or greater,~~ Unless the livery provides pre-rental  
187 ~~prerental~~ or pre-ride ~~preride~~ instruction in compliance with  
188 rules established by the commission.

189 1. The instruction must include ~~that includes,~~ but need not  
190 be limited to:

191 a.1. Operational characteristics of the vessel to be  
192 rented.

193 b.2. Safe vessel operation and vessel right-of-way.

194 c.3. The responsibility of the vessel operator for the safe  
195 and proper operation of the vessel.

196 d.4. Local characteristics of the waterway where the vessel  
197 will be operated, such as navigational hazards, the presence of  
198 boating-restricted areas, and water depths.

199 e. Emergency procedures, such as appropriate responses to  
200 capsizing, falls overboard, taking on water, and vessel  
201 accidents.

202 2. Any person receiving instruction in the safe handling of  
203 livery vessels pursuant to this paragraph must provide the

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204 livery with a written statement attesting to each component of  
205 the instruction.

206 a. The commission shall establish by rule the content of  
207 the statement form.

208 b. The statement form must be signed by the individual  
209 providing the instruction.

210 c. The livery shall maintain the statement form for no less  
211 than 90 days and, upon request, make the form available for  
212 inspection by law enforcement.

213  
214 ~~Any person delivering the information specified in this~~  
215 ~~paragraph must have successfully completed a boater safety~~  
216 ~~course approved by the National Association of State Boating Law~~  
217 ~~Administrators and this state.~~

218 (f) Unless the livery displays boating safety information  
219 in a place visible to the renting public. The commission shall  
220 prescribe by rule, pursuant to chapter 120, the contents and  
221 size of the boating safety information to be displayed.

222 (g) Unless the livery has a written agreement with the  
223 renter or lessee. The written agreement must include the name,  
224 address, and date of birth for the renter and the number of  
225 people aboard the vessel, as well as the time the vessel is  
226 required to be returned to the livery or another specified  
227 location and an emergency contact name, address, and telephone  
228 number. The livery shall maintain each agreement for no less  
229 than 1 year and, upon request, make each agreement available for  
230 inspection by law enforcement.

231 (4)(2) A livery may not knowingly lease, ~~hire,~~ or rent a  
232 vessel to a person who is required to comply with s. 327.395

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233 unless such person presents to the livery the documentation  
234 required by s. 327.395(2) for the operation of a vessel or meets  
235 the exemption provided under s. 327.395(6) (f).

236 (5)~~(3)~~ If a vessel rented or leased by a livery is  
237 unnecessarily overdue more than 4 hours after the contracted  
238 vessel rental time has expired, the livery must ~~shall~~ notify law  
239 enforcement ~~the proper authorities~~.

240 (6)~~(4)~~~~(a)~~ A livery may not knowingly lease, ~~hire,~~ or rent a  
241 livery vessel, other than a human-powered vessel, personal  
242 watercraft to any person who is under 18 years of age.

243 ~~(b) A livery may not knowingly lease, hire, or rent a~~  
244 ~~personal watercraft to any person who has not received~~  
245 ~~instruction in the safe handling of personal watercraft, in~~  
246 ~~compliance with rules established by the commission pursuant to~~  
247 ~~chapter 120.~~

248 ~~(c) Any person receiving instruction in the safe handling~~  
249 ~~of personal watercraft pursuant to a program established by rule~~  
250 ~~of the commission must provide the livery with a written~~  
251 ~~statement attesting to the same.~~

252 (7)~~(5)~~ A livery may not lease, ~~hire,~~ or rent any ~~personal~~  
253 ~~watercraft~~ or offer to lease, ~~hire,~~ or rent any livery vessel  
254 ~~personal watercraft~~ unless the livery first obtains and carries  
255 in full force and effect a policy from a licensed insurance  
256 carrier in this state which insures the livery and the renter,  
257 ~~insuring~~ against any accident, loss, injury, property damage, or  
258 other casualty caused by or resulting from the operation of the  
259 livery vessel ~~personal watercraft~~. The insurance policy must  
260 ~~shall~~ provide coverage of at least \$500,000 per person and \$1  
261 million per event. The livery shall ~~must~~ have proof of such



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262 insurance available for inspection at the location where livery  
263 vessels ~~personal watercraft~~ are being leased, ~~hired,~~ or rented,  
264 or offered for lease, ~~hire,~~ or rent, and shall provide to each  
265 renter the insurance carrier's name and address and the  
266 insurance policy number. This subsection does not apply to  
267 human-powered vessels.

268 (8) Notwithstanding the person's age or any exemptions  
269 provided in s. 327.395, any person delivering instruction  
270 regarding the safe operation of vessels or pre-rental or pre-  
271 ride instruction in accordance with subsection (3) must have  
272 successfully completed a boating safety education course  
273 approved by the National Association of State Boating Law  
274 Administrators and this state.

275 (9) If a vessel rented or leased by a livery is involved in  
276 an accident, the livery must report the accident to the  
277 division.

278 (10) A livery shall make its facilities and records  
279 available for inspection upon request by law enforcement no  
280 later than 24 hours after receiving notice from law enforcement.

281 (11) (a) ~~(6)~~ Any person convicted of violating this section,  
282 other than subsection (2), who has not been convicted of a  
283 violation of this section within the past 3 years commits a  
284 misdemeanor of the second degree, punishable as provided in s.  
285 775.082 or s. 775.083.

286 (b) Unless the stricter penalties in paragraph (c) apply, a  
287 person who violates this section, other than subsection (2),  
288 within 3 years after a previous conviction of a violation of  
289 this section commits a misdemeanor of the first degree,  
290 punishable as provided in s. 775.082 or s. 775.083, with a

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291 minimum mandatory fine of \$500.

292 (c) A person who violates this section, other than  
293 subsection (2), within 5 years after two previous convictions  
294 for a violation of this section commits a misdemeanor of the  
295 first degree, punishable as provided in s. 775.082 or s.  
296 775.083, with a minimum mandatory fine of \$1,000.

297 (12) A person who commits more than one violation of this  
298 section, other than subsection (2), within a 3-year period may  
299 not act as a livery during a 90-day period immediately after  
300 being charged with that violation. The commission may revoke or  
301 refuse to issue a permit under subsection (2) based on repeated  
302 violations of this section.

303 Section 6. Subsections (1) and (8) of section 327.73,  
304 Florida Statutes, are amended to read:

305 327.73 Noncriminal infractions.—

306 (1) Violations of the following provisions of the vessel  
307 laws of this state are noncriminal infractions:

308 (a) Section 328.46, relating to operation of unregistered  
309 and unnumbered vessels.

310 (b) Section 328.48(4), relating to display of number and  
311 possession of registration certificate.

312 (c) Section 328.48(5), relating to display of decal.

313 (d) Section 328.52(2), relating to display of number.

314 (e) Section 328.54, relating to spacing of digits and  
315 letters of identification number.

316 (f) Section 328.60, relating to military personnel and  
317 registration of vessels.

318 (g) Section 328.72(13), relating to operation with an  
319 expired registration, for which the penalty is:

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320 1. For a first or subsequent offense of s. 328.72(13)(a),  
321 up to a maximum of \$100 ~~\$50~~.

322 2. For a first offense of s. 328.72(13)(b), up to a maximum  
323 of \$250.

324 3. For a second or subsequent offense of s. 328.72(13)(b),  
325 up to a maximum of \$500. Any person cited for a noncriminal  
326 infraction under this subparagraph may not have the provisions  
327 of paragraph (4)(a) available to him or her but must appear  
328 before the designated official at the time and location of the  
329 scheduled hearing.

330 (h) Section 327.33(2), relating to careless operation.

331 (i) Section 327.37, relating to water skiing, aquaplaning,  
332 parasailing, and similar activities.

333 (j) Section 327.44, relating to interference with  
334 navigation.

335 (k) Violations relating to boating-restricted areas and  
336 speed limits:

337 1. Established by the commission or by local governmental  
338 authorities pursuant to s. 327.46.

339 2. Speed limits established pursuant to s. 379.2431(2).

340 (l) Section 327.48, relating to regattas and races.

341 (m) Section 327.50(1) and (2), relating to required safety  
342 equipment, lights, and shapes.

343 (n) Section 327.65, relating to muffling devices.

344 (o) Section 327.33(3)(b), relating to a violation of  
345 navigation rules:

346 1. That does not result in an accident; or

347 2. That results in an accident not causing serious bodily  
348 injury or death, for which the penalty is:

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- 349 a. For a first offense, up to a maximum of \$500 ~~\$250~~.
- 350 b. For a second offense, up to a maximum of \$1,000 ~~\$750~~.
- 351 c. For a third or subsequent offense, up to a maximum of
- 352 \$1,500 ~~\$1,000~~.
- 353 (p) Section 327.39(1), (2), (3), and (5), relating to
- 354 personal watercraft.
- 355 (q) Section 327.53(1), (2), (3), and (8), relating to
- 356 marine sanitation.
- 357 (r) Section 327.53(4), (5), and (7), relating to marine
- 358 sanitation, and s. 327.60, relating to no-discharge zones, for
- 359 which the civil penalty is \$250.
- 360 (s) Section 327.395, relating to boater safety education.
- 361 However, a person cited for violating the requirements of s.
- 362 327.395 relating to failure to have required proof of boating
- 363 safety education in his or her possession may not be convicted
- 364 if, before or at the time of a county court hearing, the person
- 365 produces proof of the boating safety education identification
- 366 card or temporary certificate for verification by the hearing
- 367 officer or the court clerk and the identification card or
- 368 temporary certificate was valid at the time the person was
- 369 cited.
- 370 (t) Section 327.52(3), relating to operation of overloaded
- 371 or overpowered vessels.
- 372 (u) Section 327.331, relating to divers-down warning
- 373 devices, except for violations meeting the requirements of s.
- 374 327.33.
- 375 (v) Section 327.391(1), relating to the requirement for an
- 376 adequate muffler on an airboat.
- 377 (w) Section 327.391(3), relating to the display of a flag

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378 on an airboat.

379 (x) Section 253.04(3)(a), relating to carelessly causing  
380 seagrass scarring, for which the civil penalty upon conviction  
381 is:

382 1. For a first offense, \$100 ~~\$50~~.

383 2. For a second offense occurring within 12 months after a  
384 prior conviction, \$250.

385 3. For a third offense occurring within 36 months after a  
386 prior conviction, \$500.

387 4. For a fourth or subsequent offense occurring within 72  
388 months after a prior conviction, \$1,000.

389 (y) Section 327.45, relating to protection zones for  
390 springs, for which the penalty is:

391 1. For a first offense, \$100 ~~\$50~~.

392 2. For a second offense occurring within 12 months after a  
393 prior conviction, \$250.

394 3. For a third offense occurring within 36 months after a  
395 prior conviction, \$500.

396 4. For a fourth or subsequent offense occurring within 72  
397 months after a prior conviction, \$1,000.

398 (z) Section 327.4108, relating to the anchoring of vessels  
399 in anchoring limitation areas, for which the penalty is:

400 1. For a first offense, up to a maximum of \$100 ~~\$50~~.

401 2. For a second offense, up to a maximum of \$250 ~~\$100~~.

402 3. For a third or subsequent offense, up to a maximum of  
403 \$500 ~~\$250~~.

404 (aa) Section 327.4107, relating to vessels at risk of  
405 becoming derelict on waters of this state, for which the civil  
406 penalty is:

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- 407           1. For a first offense, \$100.  
408           2. For a second offense occurring 30 days or more after a  
409 first offense, \$250.  
410           3. For a third or subsequent offense occurring 30 days or  
411 more after a previous offense, \$500.  
412

413 A vessel that is the subject of three or more violations issued  
414 pursuant to the same paragraph of s. 327.4107(2) within an 18-  
415 month period which result in dispositions other than acquittal  
416 or dismissal shall be declared to be a public nuisance and  
417 subject to ss. 705.103(2) and (4) and 823.11(3). The commission,  
418 an officer of the commission, or a law enforcement agency or  
419 officer specified in s. 327.70 may relocate, remove, or cause to  
420 be relocated or removed such public nuisance vessels from waters  
421 of this state. The commission, an officer of the commission, or  
422 a law enforcement agency or officer acting pursuant to this  
423 paragraph upon waters of this state shall be held harmless for  
424 all damages to the vessel resulting from such relocation or  
425 removal unless the damage results from gross negligence or  
426 willful misconduct as these terms are defined in s. 823.11.

427           (bb) Section 327.4109, relating to anchoring or mooring in  
428 a prohibited area, for which the penalty is:

- 429           1. For a first offense, up to a maximum of \$100 ~~\$50~~.  
430           2. For a second offense, up to a maximum of \$250 ~~\$100~~.  
431           3. For a third or subsequent offense, up to a maximum of  
432 \$500 ~~\$250~~.

433           (cc) Section 327.463(4) (a) and (b), relating to vessels  
434 creating special hazards, for which the penalty is:

- 435           1. For a first offense, \$100 ~~\$50~~.

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436 2. For a second offense occurring within 12 months after a  
437 prior offense, \$250 ~~\$100~~.

438 3. For a third offense occurring within 36 months after a  
439 prior offense, \$500 ~~\$250~~.

440 (dd) Section 327.371, relating to the regulation of human-  
441 powered vessels.

442 (ee) Section 328.03, relating to an improper transfer of  
443 title, for which the penalty is up to a maximum of \$500.

444 (ff) Section 328.48(9), relating to the failure to update  
445 vessel registration information, for which the penalty is up to  
446 a maximum of \$500.

447  
448 Any person cited for a violation of ~~any provision of~~ this  
449 subsection shall be deemed to be charged with a noncriminal  
450 infraction, shall be cited for such an infraction, and shall be  
451 cited to appear before the county court. The civil penalty for  
452 any such infraction is \$100 ~~\$50~~, except as otherwise provided in  
453 this section. Any person who fails to appear or otherwise  
454 properly respond to a uniform boating citation ~~shall~~, in  
455 addition to the charge relating to the violation of the boating  
456 laws of this state, must be charged with the offense of failing  
457 to respond to such citation and, upon conviction, be guilty of a  
458 misdemeanor of the second degree, punishable as provided in s.  
459 775.082 or s. 775.083. A written warning to this effect shall be  
460 provided at the time such uniform boating citation is issued.

461 (8) All fees and civil penalties assessed and collected  
462 pursuant to this section shall be remitted by the clerk of the  
463 court to the Department of Revenue to be deposited into the  
464 Marine Resources Conservation Trust Fund for boating safety

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465 education or law enforcement purposes.

466 Section 7. Subsection (1) of section 327.731, Florida  
467 Statutes, is amended, and subsection (4) is added to that  
468 section, to read:

469 327.731 Mandatory education for violators.—

470 (1) A person convicted of a criminal violation under this  
471 chapter, convicted of a noncriminal infraction under this  
472 chapter if the infraction resulted in a reportable boating  
473 accident, or convicted of two noncriminal infractions as  
474 specified in s. 327.73(1)(h)-(k), (m), (o), (p), and (s)-(y),  
475 the said infractions occurring within a 12-month period, must:

476 (a) Enroll in, attend, and successfully complete, at his or  
477 her own expense, a classroom or online boating safety course  
478 that is approved by and meets the minimum standards established  
479 by commission rule;

480 (b) File with the commission within 90 days proof of  
481 successful completion of the course; ~~and~~

482 (c) Refrain from operating a vessel until he or she has  
483 filed proof of successful completion of the course with the  
484 commission; and

485 (d) Pay a fine of \$500. The clerk of the court shall remit  
486 all fines assessed and collected under this paragraph to the  
487 Department of Revenue to be deposited into the Marine Resources  
488 Conservation Trust Fund to support law enforcement activities.

489 (4) The commission shall maintain a program to ensure  
490 compliance with the mandatory boating safety education  
491 requirements under this section. This program must:

492 (a) Track any citations resulting in a conviction under  
493 this section and the disposition of such citations.



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494           (b) Send specific notices to each person subject to the  
495 requirement for mandatory boating safety education.

496           Section 8. Subsection (3) of section 328.03, Florida  
497 Statutes, is amended to read:

498           328.03 Certificate of title required.—

499           (3) A person may ~~shall~~ not sell, assign, or transfer a  
500 vessel titled by the state without delivering to the purchaser  
501 or transferee a valid certificate of title with an assignment on  
502 it showing the transfer of title to the purchaser or transferee.  
503 A person may ~~shall~~ not purchase or otherwise acquire a vessel  
504 required to be titled by the state without obtaining a  
505 certificate of title for the vessel in his or her name. The  
506 purchaser or transferee shall, within 30 days after a change in  
507 vessel ownership, file an application for a title transfer with  
508 the county tax collector. An additional \$10 fee must ~~shall~~ be  
509 charged against the purchaser or transferee if he or she files a  
510 title transfer application after the 30-day period. The county  
511 tax collector may ~~shall be entitled to~~ retain \$5 of the  
512 additional amount. Any person who does not properly transfer  
513 title of a vessel pursuant to this chapter is subject to the  
514 penalties provided in s. 327.73(1)(ee).

515           Section 9. Effective July 1, 2023, subsection (4) of  
516 section 328.03, Florida Statutes, as amended by chapter 2019-76,  
517 Laws of Florida, is amended to read:

518           328.03 Certificate of title required.—

519           (4) An additional \$10 fee shall be charged against the  
520 purchaser or transferee if he or she files a title transfer  
521 application after the 30-day period. The county tax collector  
522 may ~~shall be entitled to~~ retain \$5 of the additional amount. Any

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523 person who does not properly transfer title of a vessel pursuant  
524 to this chapter is subject to the penalties provided in s.  
525 327.73(1)(ee).

526 Section 10. Paragraph (a) of subsection (1) and subsection  
527 (4) of section 328.48, Florida Statutes, are amended, and  
528 subsection (9) is added to that section, to read:

529 328.48 Vessel registration, application, certificate,  
530 number, decal, duplicate certificate.—

531 (1) (a) The owner of each vessel required by this law to pay  
532 a registration fee and secure an identification number shall  
533 file an application with the county tax collector. The  
534 application must ~~shall~~ provide the owner's name and physical  
535 residential or business address; residency status; personal or  
536 business identification; and a complete description of the  
537 vessel, and must ~~shall~~ be accompanied by payment of the  
538 applicable fee required in s. 328.72. An individual applicant  
539 must provide a valid driver license or identification card  
540 issued by this state or another state or a valid passport. A  
541 business applicant must provide a federal employer  
542 identification number, if applicable, verification that the  
543 business is authorized to conduct business in this ~~the~~ state, or  
544 a Florida city or county business license or number.  
545 Registration is not required for any vessel that is not used on  
546 the waters of this state. Upon receipt of an application from a  
547 live-aboard vessel owner whose primary residence is the vessel,  
548 the commission may authorize such owner to provide a post office  
549 box address in lieu of a physical residential or business  
550 address.

551 (4) Each certificate of registration issued must ~~shall~~

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552 state among other items the numbers awarded to the vessel, the  
553 hull identification number, the name and physical residential or  
554 business address of the owner, and a description of the vessel,  
555 except that certificates of registration for vessels constructed  
556 or assembled by the owner registered for the first time must  
557 ~~shall~~ state all the foregoing information except the hull  
558 identification number. The numbers must ~~shall~~ be placed on each  
559 side of the forward half of the vessel in such position as to  
560 provide clear legibility for identification, except, if the  
561 vessel is an airboat, the numbers may be placed on each side of  
562 the rudder. The numbers awarded to the vessel must ~~shall~~ read  
563 from left to right and must ~~shall~~ be in block characters of good  
564 proportion not less than 3 inches in height. The numbers must  
565 ~~shall~~ be of a solid color that ~~which~~ will contrast with the  
566 color of the background and must ~~shall~~ be so maintained as to be  
567 clearly visible and legible; i.e., dark numbers on a light  
568 background or light numbers on a dark background. The  
569 certificate of registration must ~~shall~~ be pocket-sized and must  
570 ~~shall~~ be available for inspection on the vessel for which issued  
571 whenever such vessel is in operation. Upon receipt of an  
572 application from a live-aboard vessel owner whose primary  
573 residence is the vessel, the commission may authorize such owner  
574 to provide a post office box address in lieu of a physical  
575 residential address.

576 (9) A person who does not update his or her vessel  
577 registration information with the county tax collector within 6  
578 months after a change to the information is subject to the  
579 penalties provided in s. 327.73(1)(ff).

580 Section 11. Except as otherwise expressly provided in this

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581 act, this act shall take effect July 1, 2022.

**DRAWING REVISION REGISTER**  
**REV# SHEET # REVISION DESCRIPTION**

**SCOPE OF WORK**

THE FOLLOWING DRAWINGS ILLUSTRATE THE PROPOSED SCOPE OF WORK FOR **40 SW NORTH RIVER DR, MIAMI FL 33130** TO BE PERMITTED BY **CITY OF MIAMI**

- NEW HARDSCAPE AND LANDSCAPE DESIGN

03/04/2022 PERMIT SET

SHEET INDEX				
LANDSCAPE DRAWINGS		DRAWING NOTES		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LCVR COVER PAGE	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L001 GENERAL SITE NOTES	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LPLN SITE PLAN	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L002 KEYPLAN	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L200 MATERIALS SCHEDULE & NOTES	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L210 MATERIALS PLAN	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L211 MATERIALS PLAN	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L400 PLANTING SCHEDULE & NOTES	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L410 TREES & PALMS PLANTING PLAN	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L411 TREES & PALMS PLANTING PLAN	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L420 UNDESTORY PLANTING PLAN	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L421 UNDESTORY PLANTING PLAN	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L450 PLANTING DETAILS	

PROJECT, ADDRESS AND OWNER:

**CASA NEOS**

40 SW NORTH RIVER DR | MIAMI FLORIDA 33130

OWNER:

MILA GROUP

ARCHITECT:



G3+e  
 975 Arthur Godfrey rd, suite 401  
 miami beach florida 33140  
 f 305 763 8471 e admin@g3aec.com  
 w www.g3aec.com | #AA26003670

LANDSCAPE ARCHITECT:

**LAND**

7264 NW 1st COURT, MIAMI FL 33150  
 614.439.4892  
 www.land.design

CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

**Reviewed for CODE COMPLIANCE**

	Signature	Date
P. Works	_____	___/___/___
Fire Prev.	_____	___/___/___
Planning	_____	___/___/___
Zoning	_____	___/___/___
Building	_____	___/___/___
Structural	_____	___/___/___
Electrical	_____	___/___/___
Plumbing	_____	___/___/___
Mech.	_____	___/___/___
S. Waste	_____	___/___/___

REV#	DATE	ISSUE

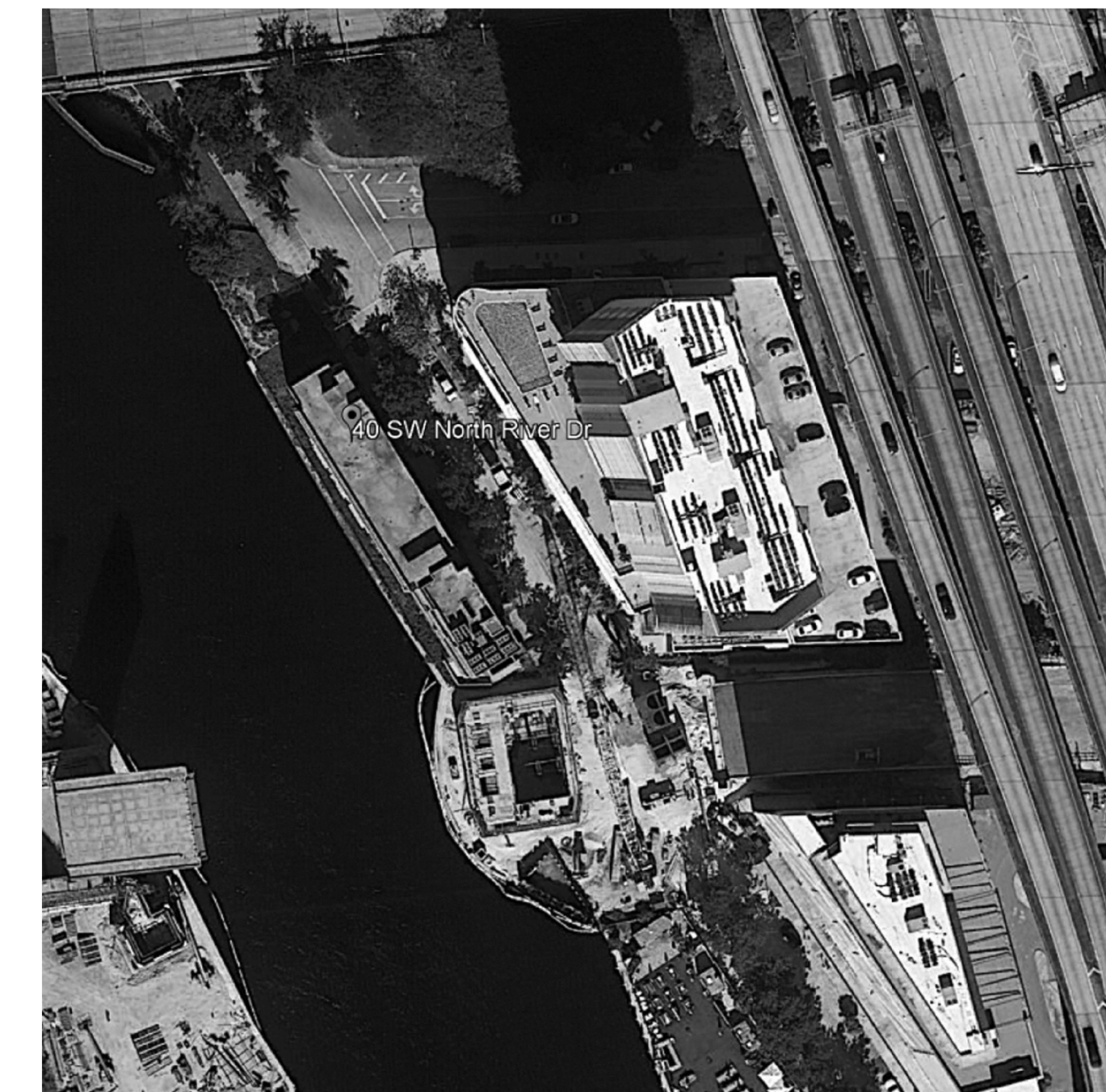
**PERMIT SET**

PROJECT No.: **2118**  
 ISSUE DATE: **03/04/2022**  
 REVISIONS:

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL (MARSH C. KRIPLEN-LA6667007)

**LOCATION MAP**



SHEET No.:  
**COVER + SHEET INDEX + LOCATION MAP**

**LCVR**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

**SITework GENERAL NOTES**

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK BY THE SUBCONTRACTORS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AT JOB SITE AND NOTIFY LANDSCAPE ARCHITECT AND GENERAL CONTRACTOR OF DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING ANY WORK.
3. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. ALL CONTRACTORS MUST COMPLY WITH PERMIT REQUIREMENTS, LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES RULES AND REGULATIONS AND LAND USE APPROVAL CONDITIONS AT ALL TIMES.
4. WORK PERFORMED WITHOUT APPROVAL OF LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES AND/OR NOT IN COMPLIANCE WITH SPECIFICATIONS AND/OR DRAWINGS IS SUBJECT TO REMOVAL AT CONTRACTOR'S EXPENSE.
5. ALL WORK SHALL CONFORM TO THE APPROPRIATE AGENCIES. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR UTILITIES OR STRUCTURES NOT SHOWN ON THE DRAWINGS. CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING OVER OR NEAR EXISTING GAS AND ELECTRICAL LINES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTNG ALL LAND MONUMENTS DISRUPTED BY CONSTRUCTION ACTIVITIES OR NEGLIGENCE ON THE PART OF THE CONTRACTOR. RESETS SHALL BE PERFORMED UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR AND MONUMENT RECORDS MUST BE FILED AS REQUIRED BY STATUTE FOR ALL MONUMENTS.
7. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS AND STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED SATISFACTORY TO THE LANDSCAPE ARCHITECT AT THE CONTRACTOR'S EXPENSE.
8. ALL BARRICADING AND TEMPORARY TRAFFIC CONTROL DEVICES OR METHODS USED DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES STANDARDS. PROVIDE ADEQUATE TIME FOR REVIEW AND APPROVAL BY THE ABOVE JURISDICTIONS PRIOR TO COMMENCEMENT.
9. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES UTILIZED OR FOR SAFETY PRECAUTIONS OR PROBLEMS IN CONNECTION WITH THE WORK. THE LANDSCAPE ARCHITECT WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACT DOCUMENTS INCLUDE THE CONSTRUCTION DOCUMENT DRAWING SET/TECHNICAL SPECIFICATIONS MANUAL/LASIS.
10. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.
11. A SYSTEM OF DIAGRAMMATIC SYMBOLS, HATCHES AND NOTATIONS IS USED IN THESE DRAWINGS. REVIEW NOTATIONS CAREFULLY, NOTIFY LANDSCAPE ARCHITECT AND REQUEST CLARIFICATION OF ANY UNCLER NOTATION OR DISCREPANCY PRIOR TO COMMENCING WORK.

**SITework GENERAL NOTES CONTINUED**

1. PROVIDE SLEEVES AS REQUIRED FOR DRAINAGE, IRRIGATION AND ELECTRICAL LINES. IRRIGATION AND ELECTRICAL SLEEVES AND SUBSURFACE DRAINAGE SYSTEMS SHALL BE CONSTRUCTED PRIOR TO PAVING AND LANDSCAPE WORK. UTILITY SLEEVES ARE REQUIRED IN ALL PLANT BEDS ISOLATED BY PAVEMENT OR ANY OTHER STRUCTURES.
2. SPECIAL CONSIDERATION IS GIVEN TO THE DESIGN AND INTENDED RELATIONSHIP BETWEEN ARCHITECTURE, PLANTING AREAS AND PAVING SYSTEMS. PAVEMENT JOINTING, PAVERS, STONE, FINISHES AND GRADES HAVE BEEN STRICTLY COORDINATED IN THE CONTRACT DOCUMENTS. CONSTRUCTION OF THESE SYSTEMS SHALL BE STRICTLY COORDINATED.
3. VEHICLES, EQUIPMENT, AND/OR MATERIALS SHALL NOT BE PARKED OR STORED IN AREAS OF EXISTING VEGETATION, INCLUDING WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.
4. CONSTRUCTION WASTE-INCLUDING BUT NOT LIMITED TO: PLANT MATERIAL, BUILDING MATERIALS, DEMOLISHED MATERIALS, PACKAGING, LEFTOVER PAINT AND CONCRETE SLURRY-SHOULD BE PROPERLY REUSED, RECYCLED, DISPOSED OF LEGALLY OFF-SITE OR IN DESIGNATED WASH-OUT AREAS DETERMINED BY THE GENERAL CONTRACTOR.
5. RECYCLING AND TRASH BINS TO BE PROVIDED ON SITE. SEPARATE BINS FOR CARDBOARD, CO-MINGLED, AND OTHER RECYCLABLE/REUSABLE MATERIALS IDENTIFIED BY THE LOCAL JURISDICTION SHALL BE MAINTAINED. ALL BINS TO BE WILDLIFE-PROOF.
6. ON-SITE FUEL STORAGE FOR CONSTRUCTION EQUIPMENT IS DISCOURAGED. CONSTRUCTION EQUIPMENT USED ON SITE TO BE CHECKED REGULARLY TO ASSURE CONTAMINATION CONCERNS FROM OILS AND GREASES ARE ELIMINATED. NO TOXIC MATERIALS SHALL BE STORED ON-SITE.
7. GENERAL CONTRACTOR TO KEEP ALL ITEMS IMPLEMENTED BY LANDSCAPE ARCHITECT IN PROPER WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT.
8. THE CONSTRUCTION SITE TO BE INSPECTED ON A MONTHLY BASIS BY LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER TO ASSURE THAT THE SILT FENCE AND MUD TRACKING PAD ARE PROPERLY IN PLACE AND FUNCTIONING AS DESIGNED.
9. GREEN BUILDING PRACTICES SHALL BE EMPLOYED TO THE EXTENT FEASIBLE. SUCH PRACTICES INCLUDE: CARPOOLING/VANPOOLING TO JOB SITE, MINIMIZING MATERIALS PACKING BEFORE ARRIVAL TO JOB SITE, REDUCING MATERIAL/RESOURCE INEFFICIENCIES BY COORDINATING WORK.
10. THE PROJECT LIMIT OF CONSTRUCTION AND ALL EXISTING VEGETATION TO REMAIN IS TO BE CLEARLY DEFINED BY STURDY, WEATHERPROOF FENCING AT A MINIMUM OF FOUR (4) FEET HIGH.
11. WATERPROOFING OF SUBGRADE AND OTHER ARCHITECTURAL SPACES BELOW AND/OR ADJACENT TO IMPROVEMENTS DESIGNED BY THE LANDSCAPE ARCHITECT IS TO BE ADEQUATELY DESIGNED AND DETAILED BY OTHERS TO PERMANENTLY REPEL ALL WATER SOURCES INCLUDING, BUT NOT LIMITED TO: PRECIPITATION, STORM WATER RUNOFF, GROUND WATER, IRRIGATION, ROOF RUNOFF, GROUND WATER, AND PLUMBING LEAKS.
12. STRUCTURAL DESIGN TO SUPPORT IMPROVEMENTS DESIGNED BY THE LANDSCAPE ARCHITECT AND LOCATED ABOVE, BELOW, AND/OR ADJACENT TO SUBGRADE AND OTHER ARCHITECTURAL SPACES IS THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER. THE STRUCTURAL DESIGN SHOULD BE ADEQUATELY DESIGNED TO SUPPORT ALL POSSIBLE LOADS INCLUDING, BUT NOT LIMITED TO: BACKFILL, COMPACTION, PLANTINGS, HARDSCAPES, RETAINING AND FREESTANDING SITE WALLS, AND CONSTRUCTION MATERIALS/EQUIPMENT/ACTIVITY.

**SOIL EROSION CONTROL NOTES**

1. PRIOR TO BEGINNING ANY EARTH CHANGE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL SESC MEASURES AS SHOWN ON THE CONTRACT DOCUMENTS AND AS REQUIRED BY ANY GOVERNING AGENCIES.
2. ALL SESC MEASURES TO BE MAINTAINED DAILY.
3. THE CONTRACTOR TO CONDUCT ALL EXCAVATION, FILLING, GRADING, AND CLEANUP OPERATIONS IN A MANNER SUCH THAT SEDIMENT, GENERATED BY WIND OR WATER IS NOT DISCHARGED INTO ANY STORM SEWER, DRAINAGE DITCH, RIVER, LAKE, AIR, OR UNDERGROUND UTILITY SYSTEM. STAGE WORK TO MINIMIZE THE AREA OF EXPOSED SOIL, THEREBY REDUCING THE OPPORTUNITY FOR SOIL EROSION.
4. WATER FROM TRENCHES AND OTHER EXCAVATION TO BE PUMPED INTO A FILTRATION BAG TO REMOVE SEDIMENTS FROM THE WATER.
5. NORTH AMERICAN GREEN SC-150 OR EQUIVALENT EROSION CONTROL FABRIC IS REQUIRED ON ALL DISTURBED SLOPES GREATER THAN 3:1 UNTIL PROJECT AREA IS REVEGETATED PER THE PLANTING PLAN.
6. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
7. CONTRACTOR TO PROVIDE ONSITE WATERING TO REDUCE FUGITIVE DUST LEAVING THE SITE DURING CONSTRUCTION.
8. SOIL EROSION CONTROL MEASURES TO BE PROVIDED FOR ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS.
9. CONSTRUCTION STAGING AND PHASING SHALL OCCUR, WHERE APPLICABLE, TO MINIMIZE SOIL DISTURBANCE TIME.
10. BEST MANAGEMENT PRACTICES (BMPs) SHALL BE ADJUSTED AS NEEDED TO MEET ANY OTHER UNFORESEEN CONDITIONS.
11. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING A MUD TRACKING PAD/WASHING PAD AT THE CONSTRUCTION ENTRANCES TO MINIMIZE MUD DETACHMENT FROM TRUCK TIRES. 1-1/2 INCH SCREENED ROCK TO BE PLACED ON MIRAFI 140-N FILTER FABRIC. ADDITIONAL CLEAN GRAVEL TO BE ADDED THROUGHOUT THE DURATION OF CONSTRUCTION AS NEEDED.
12. CONTRACTOR SHALL ABIDE BY THE LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES CONSTRUCTION MANAGEMENT PLAN REQUIREMENTS.
13. RESEED AS INDICATED IN SEEDING NOTES.



Know what's below.  
Call before you dig.

PROJECT, ADDRESS AND OWNER:

**CASA NEOS**

40 SW NORTH RIVER DR | MIAMI FLORIDA 33150

OWNER:

MILA GROUP

ARCHITECT:



G3+e  
975 Arthur Godfrey rd. suite 401  
miami beach florida 33140  
f 305 763 8471 e admin@g3aec.com  
w www.g3aec.com | #AA26003670

LANDSCAPE ARCHITECT:

**LAND**

7384 NW 1st COURT, MIAMI FL 33150  
614.439.4892  
www.land.design

CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

**Reviewed for CODE COMPLIANCE**

	Signature	Date
P. Works	_____	___/___/___
Fire Prev.	_____	___/___/___
Planning	_____	___/___/___
Zoning	_____	___/___/___
Building	_____	___/___/___
Structural	_____	___/___/___
Electrical	_____	___/___/___
Plumbing	_____	___/___/___
Mech.	_____	___/___/___
S. Waste	_____	___/___/___

REV#	DATE	ISSUE

**PERMIT SET**

PROJECT No.: **2118**  
ISSUE DATE: **03/04/2022**  
REVISIONS:

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY.

SEAL (MARSH C. KRIPLEN-LA6667007)

SHEET No.:  
**GENERAL SITE NOTES**

**L001**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

**LEGEND**

- 1. PUBLIC WALKWAY
- 2. PEDESTRIAN ACCESS
- 3. BAR
- 4. WATER FEATURE
- 5. POOL TERRACE
- 6. POOL
- 7. RAMP
- 8. SEATING AREA
- 9. RIVER WALK

PROJECT, ADDRESS AND OWNER:

**CASA NEOS**

40 SW NORTH RIVER DR | MIAMI FLORIDA 33130

OWNER

MILA GROUP

ARCHITECT:



G3sec  
975 Arthur Godfrey rd, suite 401  
miami beach florida 33140  
f 305 763 8471 e admin@g3sec.com  
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MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

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P. Works		///
Fire Prev.		///
Planning		///
Zoning		///
Building		///
Structural		///
Electrical		///
Plumbing		///
Mech.		///
S. Waste		///

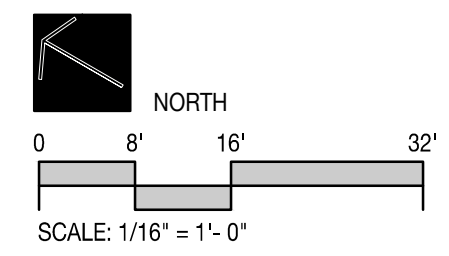
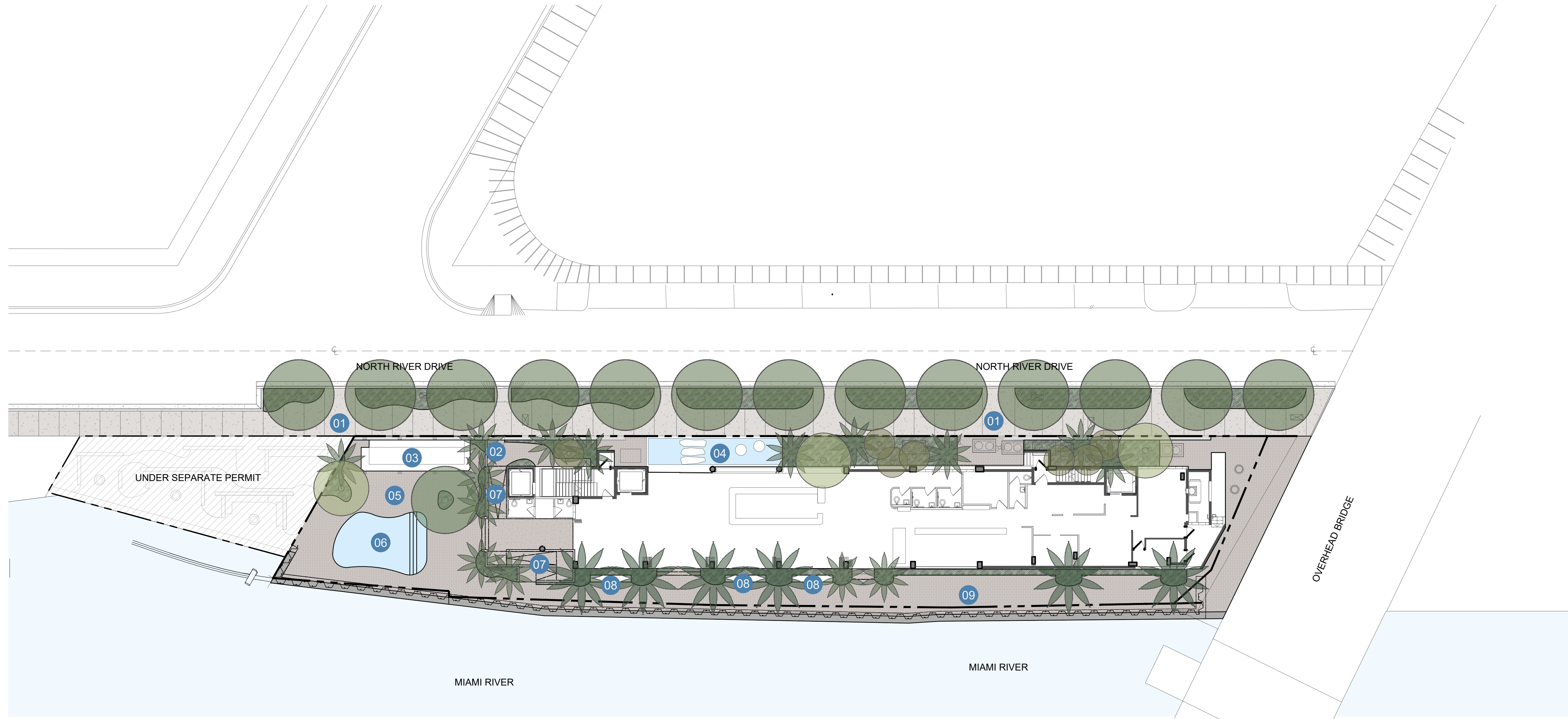
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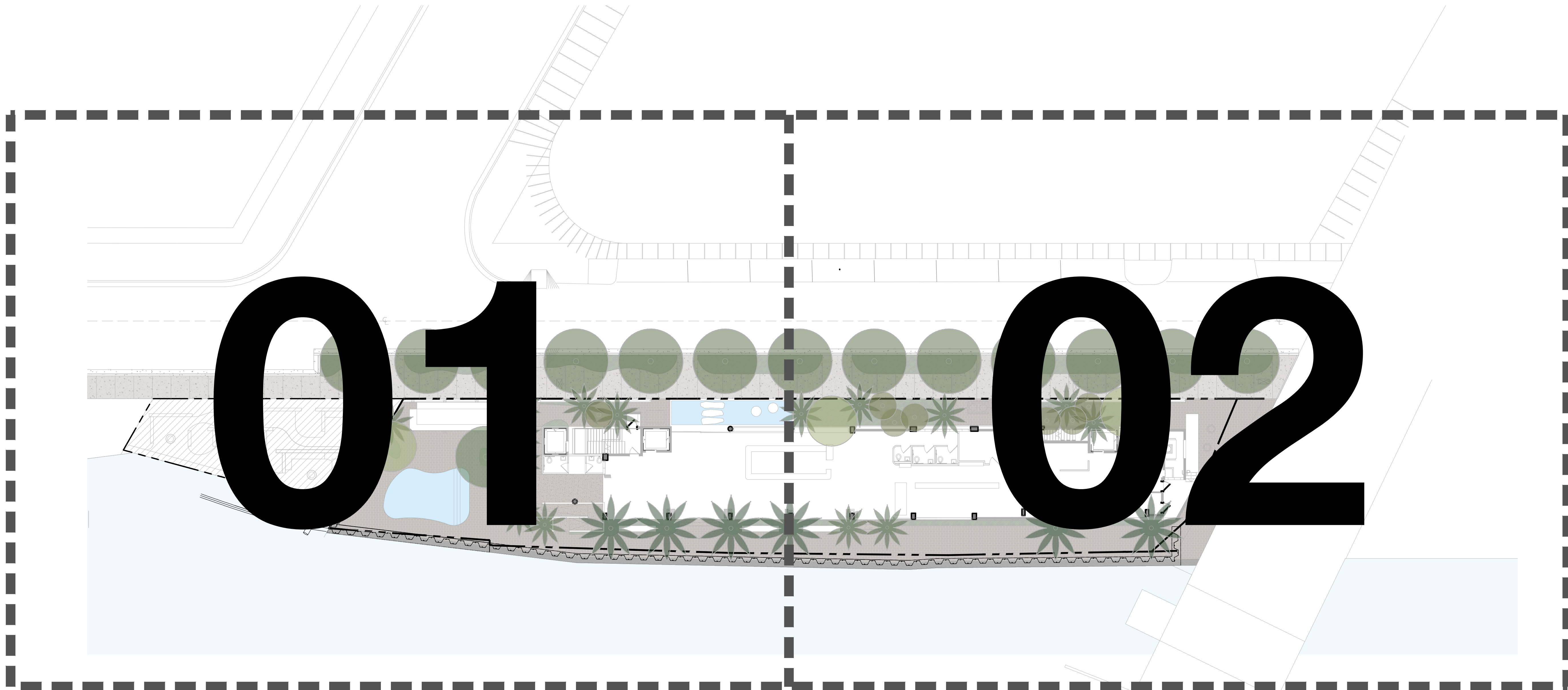
SEAL (MARSH C. KRIPLEN-LA6667007)



SHEET No.:  
**SITE PLAN**

**LPLN**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



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MEP:

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LEED CONSULTANT:

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Electrical	_____	___/___/___
Plumbing	_____	___/___/___
Mech.	_____	___/___/___
S. Waste	_____	___/___/___

REV#	DATE	ISSUE

**PERMIT SET**

PROJECT No.: 2118  
ISSUE DATE: 03/04/2022  
REVISIONS:

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SEAL (MARSH C. KRIPLEN-LA6667007)



SHEET No.:  
**KEY PLAN**

**L002**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



**MATERIALS NOTES**

1. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.
2. ALL CONSTRUCTION AND MATERIALS NOT SPECIFICALLY ADDRESSED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES STANDARDS.
3. THE CONTRACTOR SHALL PROVIDE A FULL-SCALE MOCKUP AND RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT FOR ALL SYSTEMS BEFORE BEGINNING CONSTRUCTION OF PAVEMENT.
4. EXPANSION JOINTS SHALL BE PROVIDED WHERE FLATWORK MEETS VERTICAL STRUCTURES, SUCH AS WALLS, CURBS, STEPS, AND OTHER HARDSCAPE ELEMENTS. EXPANSION JOINTS SHALL ALSO BE PROVIDED AT MATERIAL CHANGES. EXPANSION JOINT MATERIALS/METHODS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
5. CONTROL JOINTS SHOULD BE SPACED NO GREATER THAN TEN (10) LINEAR FEET MAXIMUM, UNLESS OTHERWISE SPECIFIED. EXPANSION JOINTS SHOULD BE SPACED NO GREATER THAN FORTY (40) LINEAR FEET MAXIMUM, UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL ADVISE ON OTHER JOINTS AS NEEDED TO MINIMIZE CRACKING. THIS INFORMATION SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
6. CONTROL JOINTS SHALL BE PROVIDED AS SPECIFIED IN THE CONTRACT DOCUMENTS. CONTROL JOINT MATERIALS, METHODS AND RECOMMENDATIONS ON ADDITIONAL CONTROL JOINTS TO MINIMIZE CRACKING SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
7. ALL STEPS SHALL HAVE TWELVE (12) INCH TREADS AND SIX (6) INCH RISERS, UNLESS OTHERWISE SPECIFIED.
8. HOLD TOP OF WALLS AND FENCES LEVEL, UNLESS OTHERWISE SPECIFIED.
9. CONTRACTOR SHALL NOT INSTALL WORK LOCATED ON TOP OF ARCHITECTURAL STRUCTURES WITHOUT FIRST REVIEWING ARCHITECTURAL DRAWINGS.
10. SAMPLES OF SPECIFIED MATERIALS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING FOR JOB.



**A**  
**CONCRETE WITH SEA SHELL**

COLOR: GREY / NATURAL  
 LOCATION: \*PEDESTRIAN CIRCULATION  
 \*\*\*RAMPS AND STEPS  
 \*6" x 18" PAVERS  
 \*\*AS PER PLAN

SPECIFICATION: SEA SHELL FINISH  
 SOURCE: T.B.D.



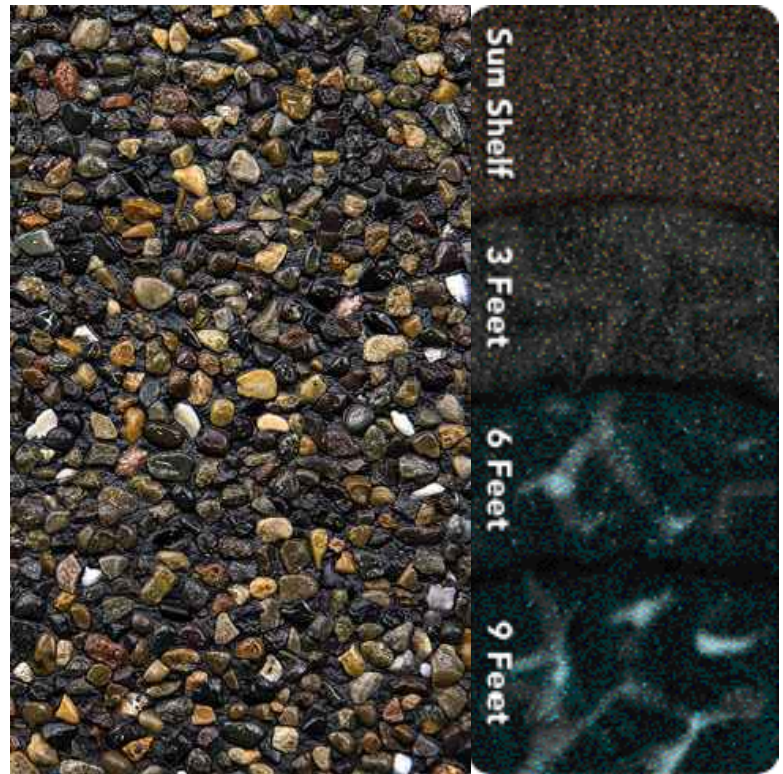
**B**  
**RIVER ROCK**

COLOR: GREY  
 SEAWALL  
 LOCATION: COLOR GREY  
 NATURAL FINISH  
 SPECIFICATION: 1" - 3" Ø AVERAGE



**C**  
**PEEBLETEC POOL TILE**

COLOR: PEBBLETEC - WHITE PEARL  
 LOCATION: MAIN POOL  
 DIMENSIONS: 1" x 1" UNITS  
 SPECIFICATION: PER MANUFACTURER  
 POOLTECH INC / PEBBLETEC®  
 SOURCE: PHONE : (631) 694.4752  
 www.pooltech.net



**D**  
**PEEBLETEC WATER FEATURE TILE**

COLOR: PEBBLETEC - BLACK PEARL  
 LOCATION: WATER FEATURE  
 DIMENSIONS: 1" x 1" UNITS  
 SPECIFICATION: PER MANUFACTURER  
 POOLTECH INC / PEBBLETEC®  
 SOURCE: PHONE : (631) 694.4752  
 www.pooltech.net



**E**  
**DOMINICAN CORAL STONE BLOCK**

COLOR: NATURAL  
 LOCATION: BENCHES  
 DIMENSIONS: TBD  
 SPECIFICATION: PER MANUFACTURER  
 SOURCE: EPIC STONE WORKS

PROJECT, ADDRESS AND OWNER:

**CASA NEOS**

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OWNER

MILA GROUP

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Electrical	_____	__/__/__
Plumbing	_____	__/__/__
Mech.	_____	__/__/__
S. Waste	_____	__/__/__

REV#	DATE	ISSUE

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PROJECT No.: 2118  
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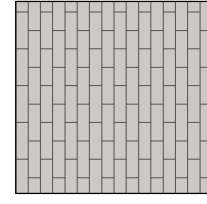
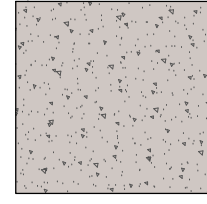
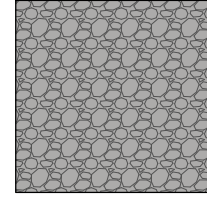

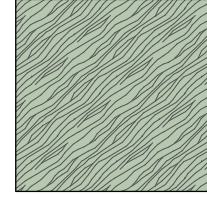
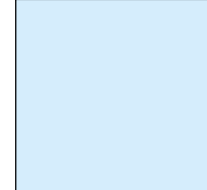
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 SEAL (MARSH C. KRIPLEN-LA6667007)

SHEET No.:  
**MATERIALS SCHEDULE**

**L200**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

**MATERIALS LEGEND**

-  MATERIAL A / CONCRETE PAVERS
-  MATERIAL A / CONCRETE FINISH
-  MATERIAL B / RIVER ROCK
-  CONCRETE SIDEWALK TO MATC CITY REQUIREMENTS SCORE JOINTS @ 6' O.C.
-  LANDSCAPE AREA
-  POOL / WATER FEATURE

PROJECT, ADDRESS AND OWNER:

**CASA NEOS**

40 SW NORTH RIVER DR | MIAMI FLORIDA 33130

OWNER:

MILA GROUP

ARCHITECT:



G3 LLC  
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miami beach florida 33140  
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LANDSCAPE ARCHITECT:

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CONSULTING ENGINEERS:

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Fire Prev.	___/___/___
Planning	___/___/___
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Building	___/___/___
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Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REV#	DATE	ISSUE

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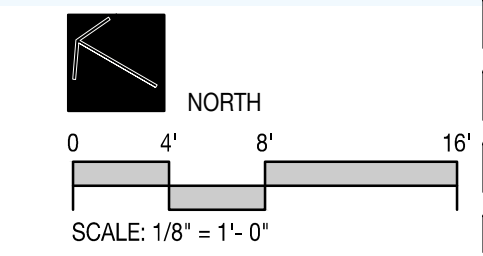
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SEAL (MARSH C. KRIPLEN-LA6667007)

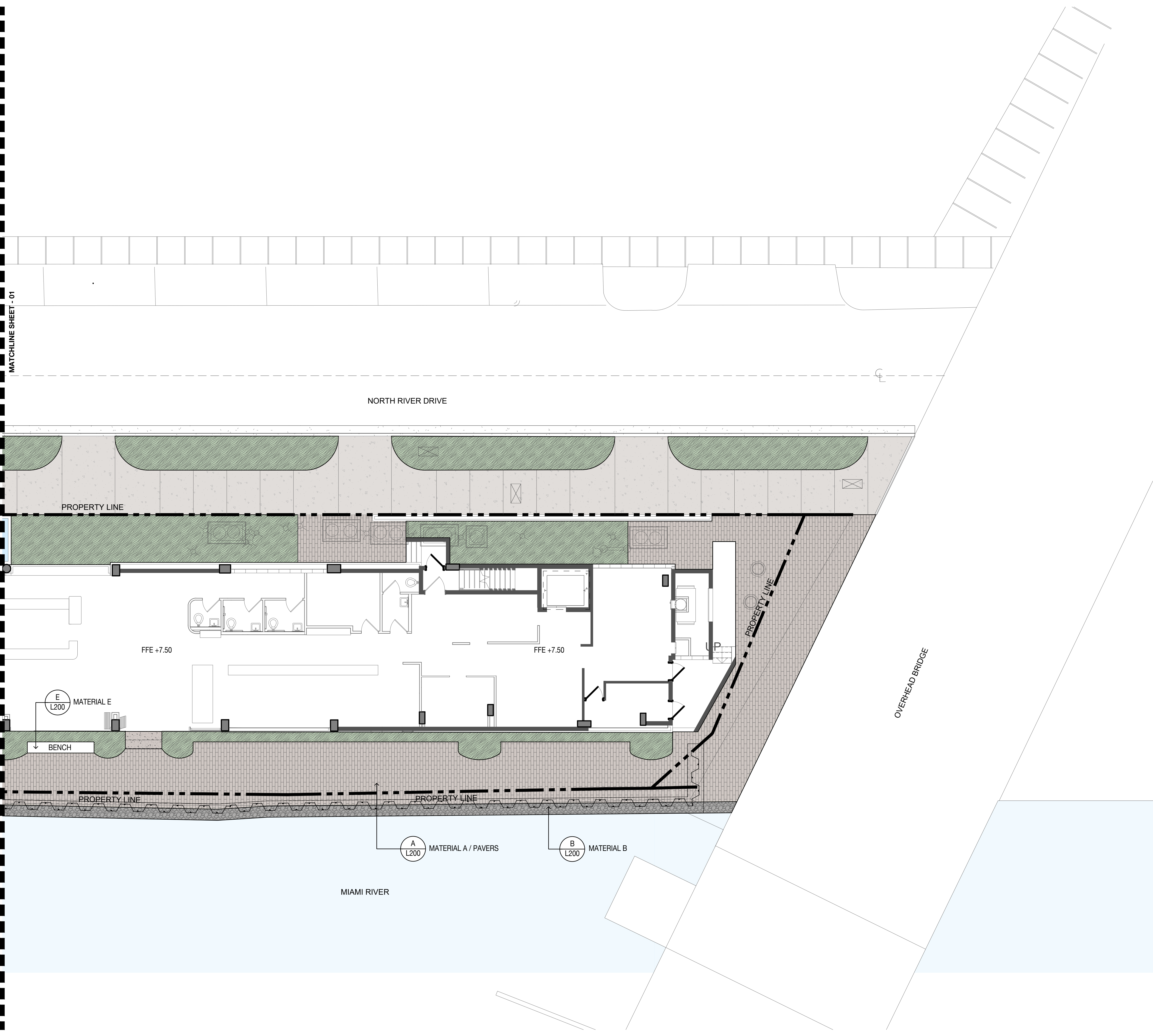
SHEET No.:  
**MATERIALS PLAN**

**L210**

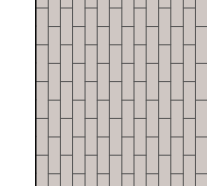
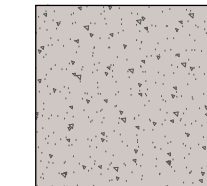
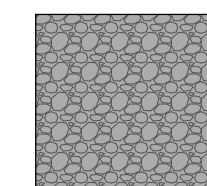
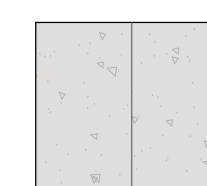
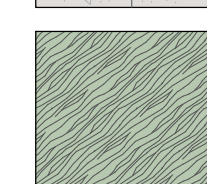

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MATCHLINE SHEET - 01



**MATERIALS LEGEND**

-  MATERIAL A / CONCRETE PAVERS
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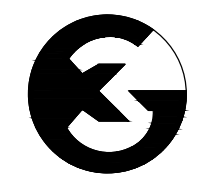
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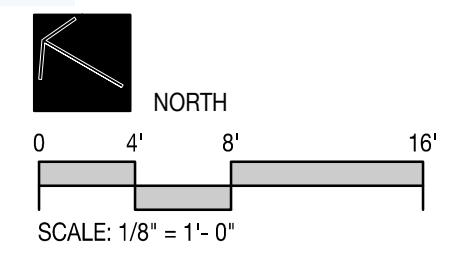
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SEAL (MARSH C. KRIPLEN-LA6667007)

SHEET No.:  
**MATERIALS PLAN**

**L211**



ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

## PLANTING NOTES

- PLANT MATERIAL IS TO BE HEALTHY SPECIMENS FREE FROM DISEASE OR DAMAGE, AND IS TO BE MAINTAINED IN EXCELLENT CONDITION WHILE ON THE JOBSITE. LANDSCAPE ARCHITECT SHALL INSPECT PLANT MATERIAL UPON ARRIVAL TO JOBSITE AND WILL REJECT PLANT MATERIAL THAT DOES NOT MEET THE STANDARDS DESCRIBED WITHIN THE CONTRACT DOCUMENTS.
- THE LANDSCAPE ARCHITECT WILL PERIODICALLY INSPECT PLANT MATERIAL STOCKPILED AND/OR PLANTED ON SITE DURING THE COURSE OF CONSTRUCTION. PLANT MATERIAL NOT MEETING THE STANDARDS CONTAINED WITHIN CONTRACT DOCUMENTS SHALL BE REPLACED AT NO COST TO THE OWNER.
- PROVIDE MATCHING SIZES AND FORMS FOR EACH PLANT OF THE SAME SPECIES UNLESS OTHERWISE INDICATED.
- CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF DISCREPANCIES, GRAPHICALLY SHOWN QUANTITIES SHALL TAKE PRECEDENCE.
- ALL MATERIALS USED SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE INSTALLED PLUMB AND PER THE SPECIFICATIONS CONTAINED WITHIN THE CONTRACT DOCUMENTS. ANY NECESSARY STAKING AND/OR OTHER SUPPORTS MATERIALS/METHODS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL PRUNE EXISTING AND/OR NEW TREES ONLY PER LANDSCAPE ARCHITECT DIRECTION.
- THE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL TREES AND B&B SHRUBS FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL, PRIOR TO INSTALLATION.
- ALL ROOT-WRAPPING MATERIALS THAT ARE NOT BIO-DEGRADABLE SHALL BE REMOVED FROM THE ROOT BALL. ROOT BALLS SHALL BE FREE OF WEEDS.
- SPECIFIED PLANT MATERIAL SIZES SHALL BE CONSIDERED MINIMUM SIZES.
- FINISH GRADE OF PLANTING BEDS SHALL BE ONE (1) INCH BELOW ADJACENT FLATWORK, UNLESS SPECIFIED OTHERWISE.
- MULCH OR PLANTING BED DRESSING SHALL BE PLACED IN ALL PLANTING AREAS AS SPECIFIED. MULCH OR PLANTING BED DRESSING SHALL NOT BE PLACED WITHIN SIX (6) INCHES OF TREE TRUNKS. MULCHING SHOULD BE REPEATED ANNUALLY DURING THE AUTUMN TO A THREE (3) INCH DEPTH.
- ALL PLANT MATERIAL SHOULD RECEIVE AN ORGANIC FERTILIZER IN LIMITED APPLICATION FOLLOWING INSTALLATION. TYPE AND APPLICATION RATE AND METHOD OF APPLICATION TO BE SPECIFIED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT.
- EXCESS FERTILIZER SHALL BE DISPOSED OF PROPERLY OFF-SITE. IT SHALL NOT BE DISPOSED OF IN STORM DRAINS AND/OR DRYWELLS.
- STOCKPILED PLANT MATERIAL TO BE PLACED IN THE SHADE AND PROPERLY HAND-WATERED UNTIL PLANTED.
- MINI-NUGGET TYPE DECORATIVE BARK MULCH WILL BE USED TO RETURN NUTRIENTS TO THE SOIL, REDUCE MAINTENANCE AND MINIMIZE EVAPORATION FOR AREAS APPROXIMATE TO THE RESIDENCE. LARGER SHREDDED BARK MULCH WILL BE USED FOR STEEP AREAS SO SLOUGHING IS LESS LIKELY TO OCCUR.
- PRESERVE & PROTECT ALL EXISTING VEGETATION INDICATED TO REMAIN AT ALL TIMES.
- ALL VEGETATION PROPOSED FOR OUTSIDE THE BUILDING ENVELOPE TO BE NATIVE UNLESS OTHERWISE NOTED. PLANTING THAT OCCURS OUTSIDE THE BUILDING ENVELOPE IS FOR RESTORATION PURPOSES ONLY OR IS SPECIFIC TO UTILITIES RESTORATION.
- SIX (6) INCH PLANT MIX SHALL BE PROVIDED FOR ALL LAWN, TURF, AND NATIVE PLANTING ZONES. 18 INCH PLANT MIX SHALL BE PROVIDED FOR ALL PERENNIAL PLANTING BEDS UNLESS OTHERWISE NOTED.

## LANDSCAPE LEGEND

## TREES & PALMS PLANTING SCHEDULE

ABR	QTTY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
<b>TREES</b>				
★ BSI	13	BURSERA SIMARUBA	GUMBO LIMBO	FG 20' / 20' HT / 6" DBH
★ CRO	3	CLUSIA ROSEA	AUTOGRAPH TREE	FG 15' / 15' HT / 4" DBH
★ CUJ	1	COCCOLOBA UVIFERA	SEA GRAPE	FG 20' / 20' HT / 8" DBH
<b>PALMS</b>				
CNU1	3	COCOS NUCIFERA	COCONUT PALM	FG 20' CT
CNU2	3	COCOS NUCIFERA	COCONUT PALM	FG 30' CT
SPA1	5	SABAL PALMETTO	SABAL PALM	FG 20' CT
SPA2	5	SABAL PALMETTO	SABAL PALM	FG 30' CT
SPA3	5	SABAL PALMETTO	SABAL PALM	FG 40' CT
<b>NATIVE UNDERSTORY TREES</b>				
★ CWI	7	CANELLA WINTERANA	CINNAMON BARK	16' HT / 4" DBH
<b>SHRUBS &amp; GROUNDCOVERS</b>				
CI	185	CHRYSOBALANUS ICACO	COCOPLUM	3 GAL / 12" O.C.
CN	79	CLUSIA NANA	DWARF CLUSIA	3 GAL / 24" O.C.
FM	153	FICUS MACROCARPA	GREEN ISLAND FICUS	3 GAL / 36" O.C.
LM	129	LIRIOPE MUSCARI	LILYTURF	1 GAL / 18" O.C.
MD	38	MONSTERA DELICIOSA	SWISS CHEESE PLANT	3 GAL / 36" O.C.
SR	8	SERENOA REPENS	SILVER SAW PALMETTO	7 GAL / 48" O.C.
<b>GRASSES</b>				
TD	25	TRIPSACUM DACTYLOIDES	FAKAHATCHEE GRASS	3 GAL / 36" O.C.

**NOTE:**  
**CONTRACTOR TO PROVIDE LANDSCAPE ARCHITECT WITH \$ 10,000 WHOLESALE PLANT ALLOWANCE FOR INFILL PLANTS, ORCHIDS, AND ACCENTS**

★ **TREE USED TOWARDS MITIGATION**

## PLANTING PALETTE



**BSI**  
*BURSERA SIMARUBA*  
 GUMBO LIMBO



**CRO**  
*CLUSIA ROSEA*  
 AUTOGRAPH TREE



**CUV**  
*COCCOLOBA UVIFERA*  
 SEA GRAPE



**CNU**  
*COCOS NUCIFERA*  
 COCONUT PALM



**SPA**  
*SABAL PALMETTO*  
 SABAL PALM



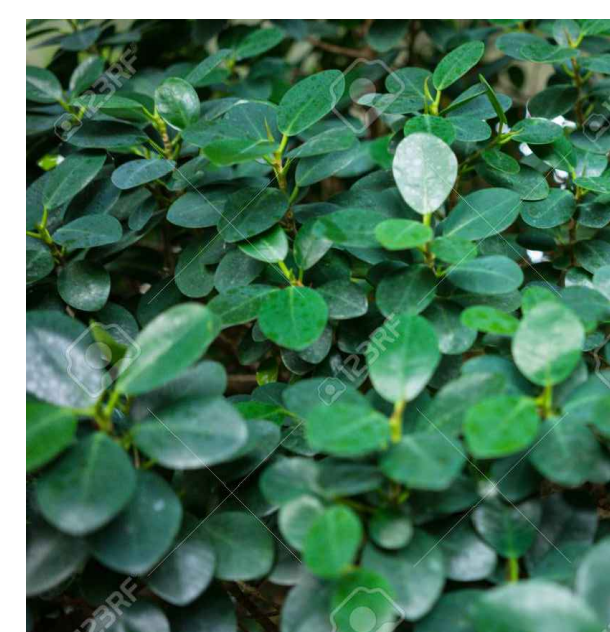
**CWI**  
*CANELLA WINTERIANA*  
 CINNAMON BARK



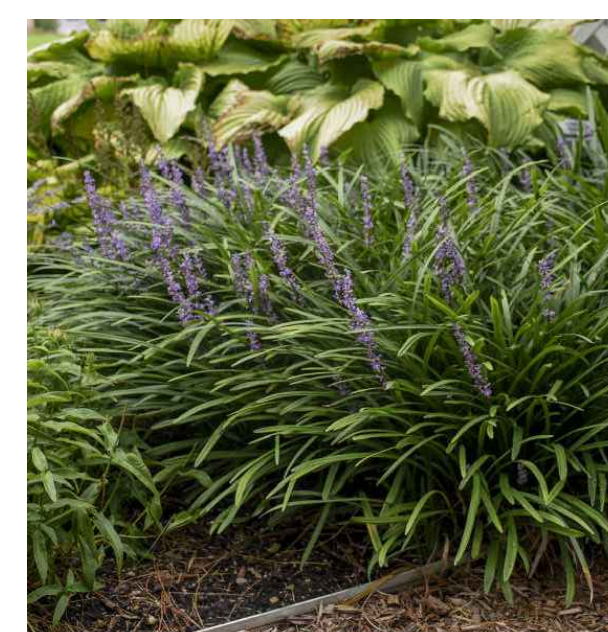
**CI**  
*CHRYSOBALANUS ICACO*  
 COCOPLUM



**CN**  
*CLUSIA NANA*  
 DWARF CLUSIA



**FM**  
*FICUS MACROCARPA*  
 GREEN ISLAND FICUS



**LM**  
*LIRIOPE MUSCARI*  
 LILYTURF



**MD**  
*MONSTERA DELICIOSA*  
 SWISS CHEESE PLANT



**SR**  
*SERENOA REPENS*  
 SILVER SAW PALMETTO



**TD**  
*TRIPSACUM DACTYLOIDES*  
 FAKAHATCHEE GRASS

PROJECT, ADDRESS AND OWNER:

### CASA NEOS

40 SW NORTH RIVER DR | MIAMI FLORIDA 33130

OWNER:

MILA GROUP

ARCHITECT:



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 975 Arthur Godfrey rd, suite 401  
 miami beach florida 33140  
 f 305 763 8471 e admin@g3sec.com  
 www.g3sec.com | #AA26003670

LANDSCAPE ARCHITECT:

## LAND

7384 NW 1st COURT, MIAMI FL 33150  
 614.439.4892  
 www.land.design

CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

### Reviewed for CODE COMPLIANCE

	Signature	Date
P. Works	_____	__/__/__
Fire Prev.	_____	__/__/__
Planning	_____	__/__/__
Zoning	_____	__/__/__
Building	_____	__/__/__
Structural	_____	__/__/__
Electrical	_____	__/__/__
Plumbing	_____	__/__/__
Mech.	_____	__/__/__
S. Waste	_____	__/__/__

REV#	DATE	ISSUE

### PERMIT SET

PROJECT No.: 2118  
 ISSUE DATE: 03/04/2022  
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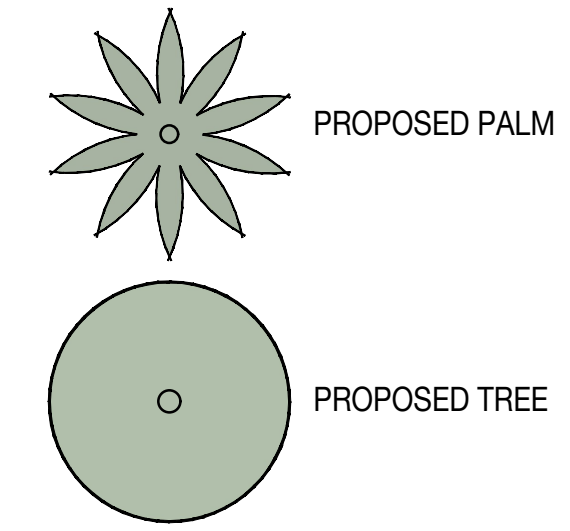
SEAL (MARSH C. KRIPLEN-LA6667007)

SHEET No.:  
**PLANTING SCHEDULE & NOTES**

# L400

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**LEGEND**



PROJECT, ADDRESS AND OWNER:

**CASA NEOS**

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Mech.	_____	___/___/___
S. Waste	_____	___/___/___

REV#	DATE	ISSUE

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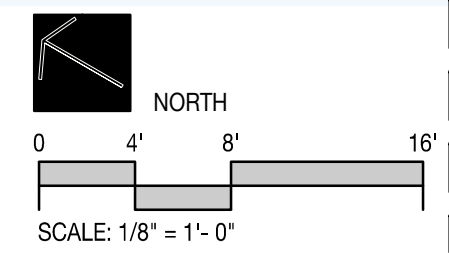
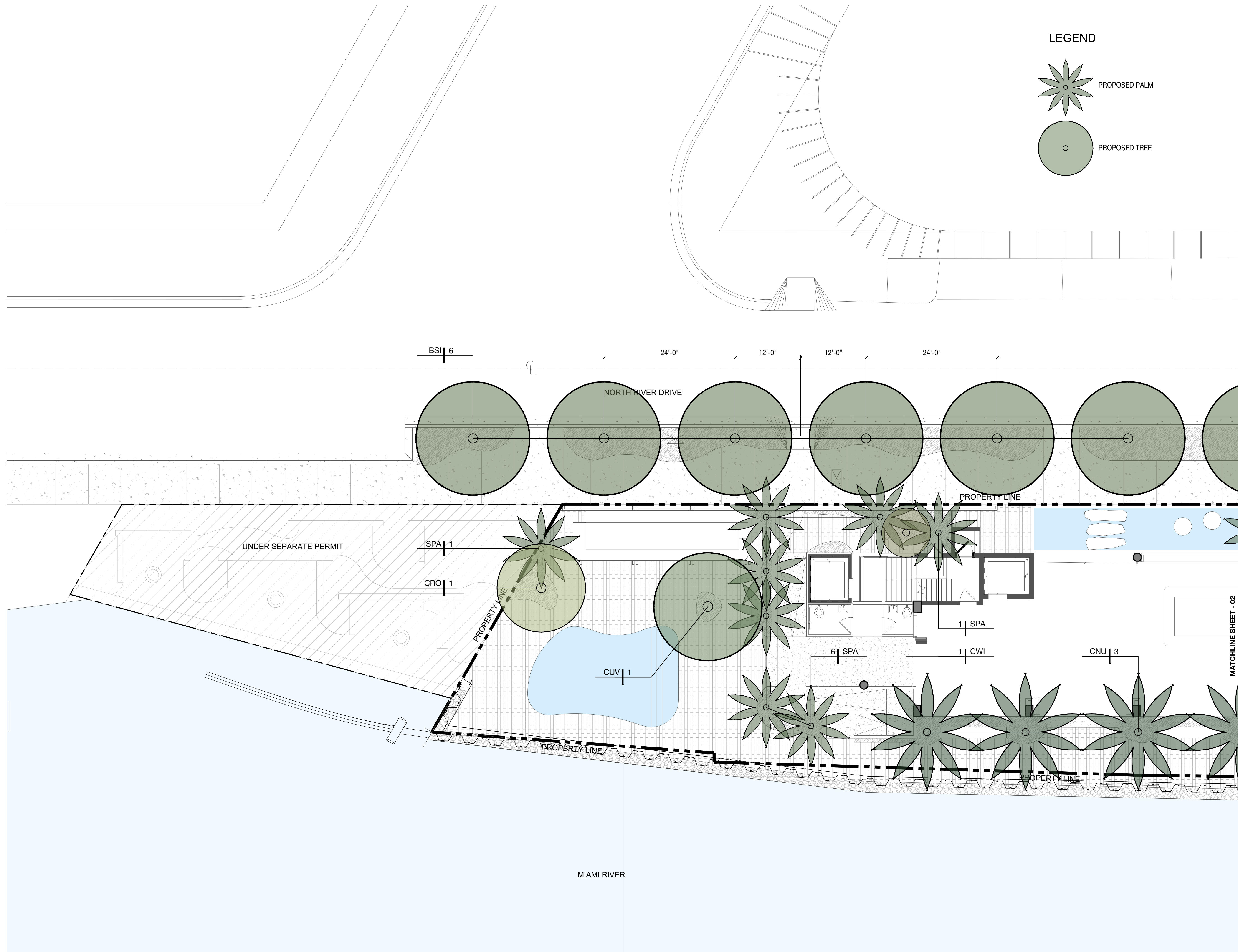
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SEAL (MARSH C. KRIPLEN-LA6667007)

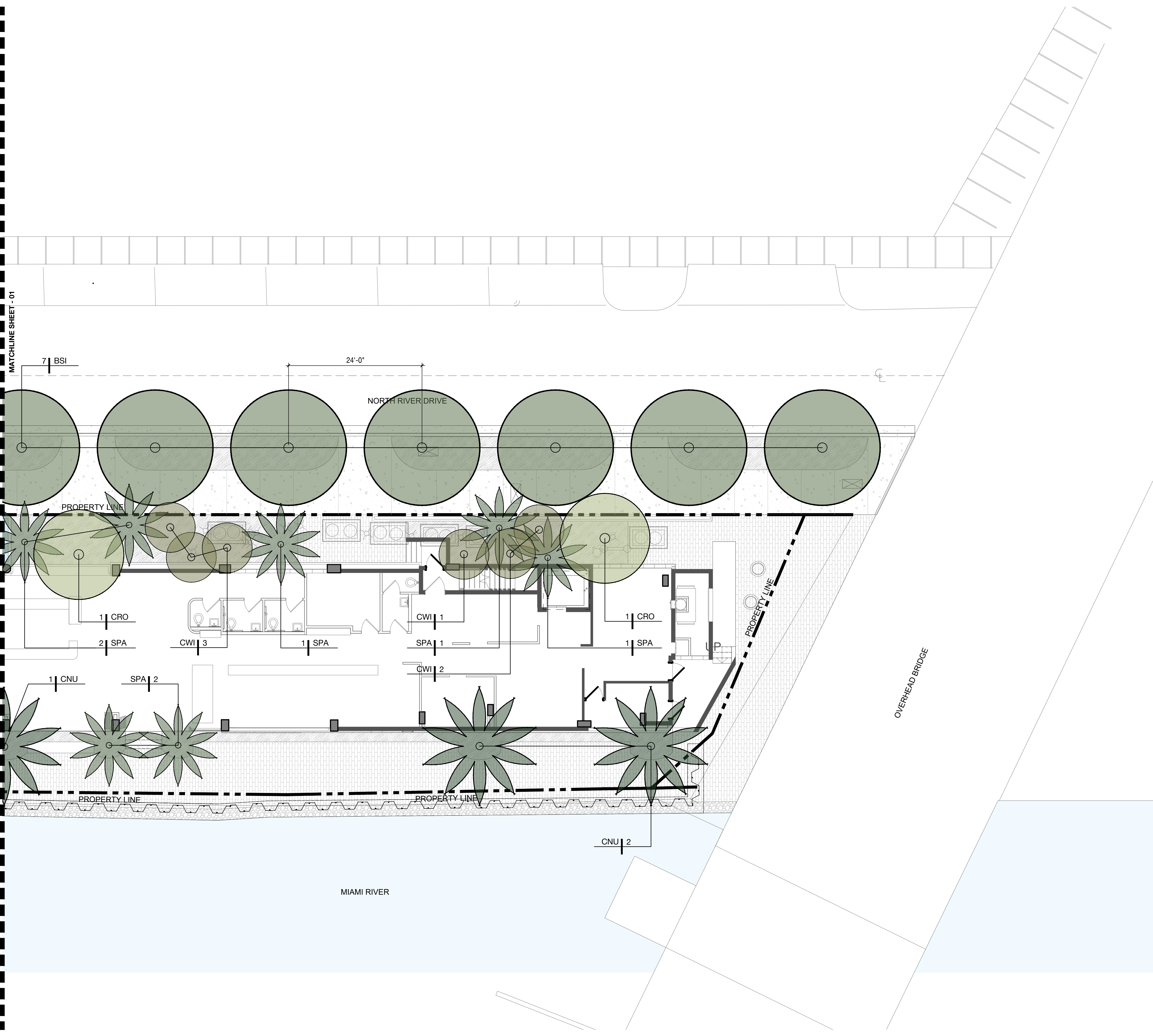
SHEET No.:  
**TREES & PALMS PLANTING PLAN**

**L410**

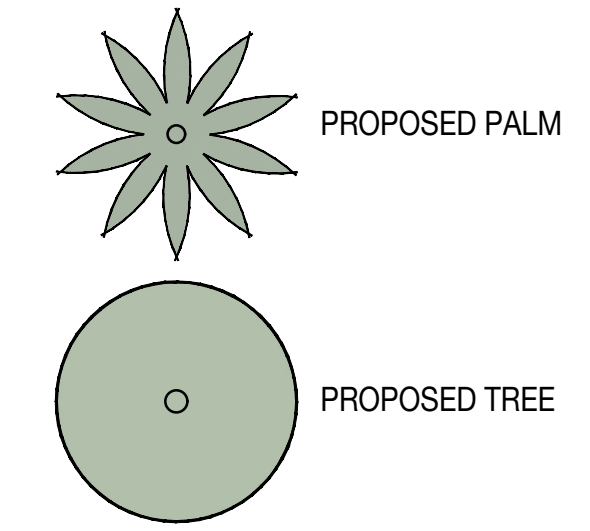
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MATCHLINE SHEET - 01



### LEGEND



PROJECT, ADDRESS AND OWNER:

### CASA NEOS

40 SW NORTH RIVER DR | MIAMI FLORIDA 33130

OWNER

MILA GROUP

ARCHITECT:



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 w www.g3aec.com | #AA26003670

LANDSCAPE ARCHITECT:

### LAND

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 www.land.design

CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

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Electrical	_____	___/___/___
Plumbing	_____	___/___/___
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S. Waste	_____	___/___/___

REV#	DATE	ISSUE

### PERMIT SET

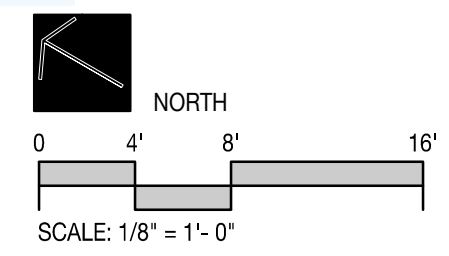
PROJECT No: 2118  
 ISSUE DATE: 03/04/2022  
 REVISIONS:

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SEAL (MARSH C. KRIPLEN-LA6667007)

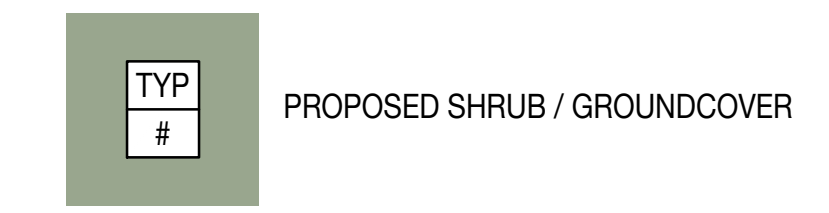
SHEET No.:  
**TREES & PALMS PLANTING PLAN**

# L411



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**LEGEND**



PROJECT, ADDRESS AND OWNER:

**CASA NEOS**

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S. Waste	_____	___/___/___

REV#	DATE	ISSUE

**PERMIT SET**

PROJECT No.: 2118  
ISSUE DATE: 03/04/2022  
REVISIONS:

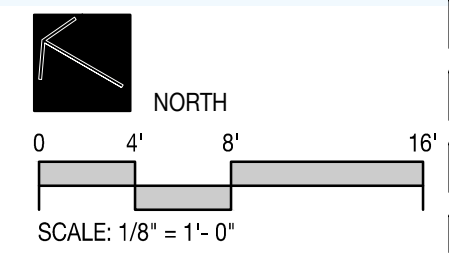
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SEAL (MARSH C. KRIPLEN-LA6667007)

SHEET No.:  
**UNDERSTORY PLANTING PLAN**

**L420**

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**LEGEND**

**TYP #** PROPOSED SHRUB / GROUNDCOVER

PROJECT, ADDRESS AND OWNER:

**CASA NEOS**

40 SW NORTH RIVER DR | MIAMI FLORIDA 33130

OWNER

MILA GROUP

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**Reviewed for CODE COMPLIANCE**

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P. Works	_____	___/___/___
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Planning	_____	___/___/___
Zoning	_____	___/___/___
Building	_____	___/___/___
Structural	_____	___/___/___
Electrical	_____	___/___/___
Plumbing	_____	___/___/___
Mech.	_____	___/___/___
S. Waste	_____	___/___/___

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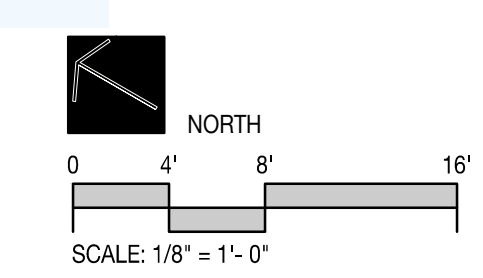
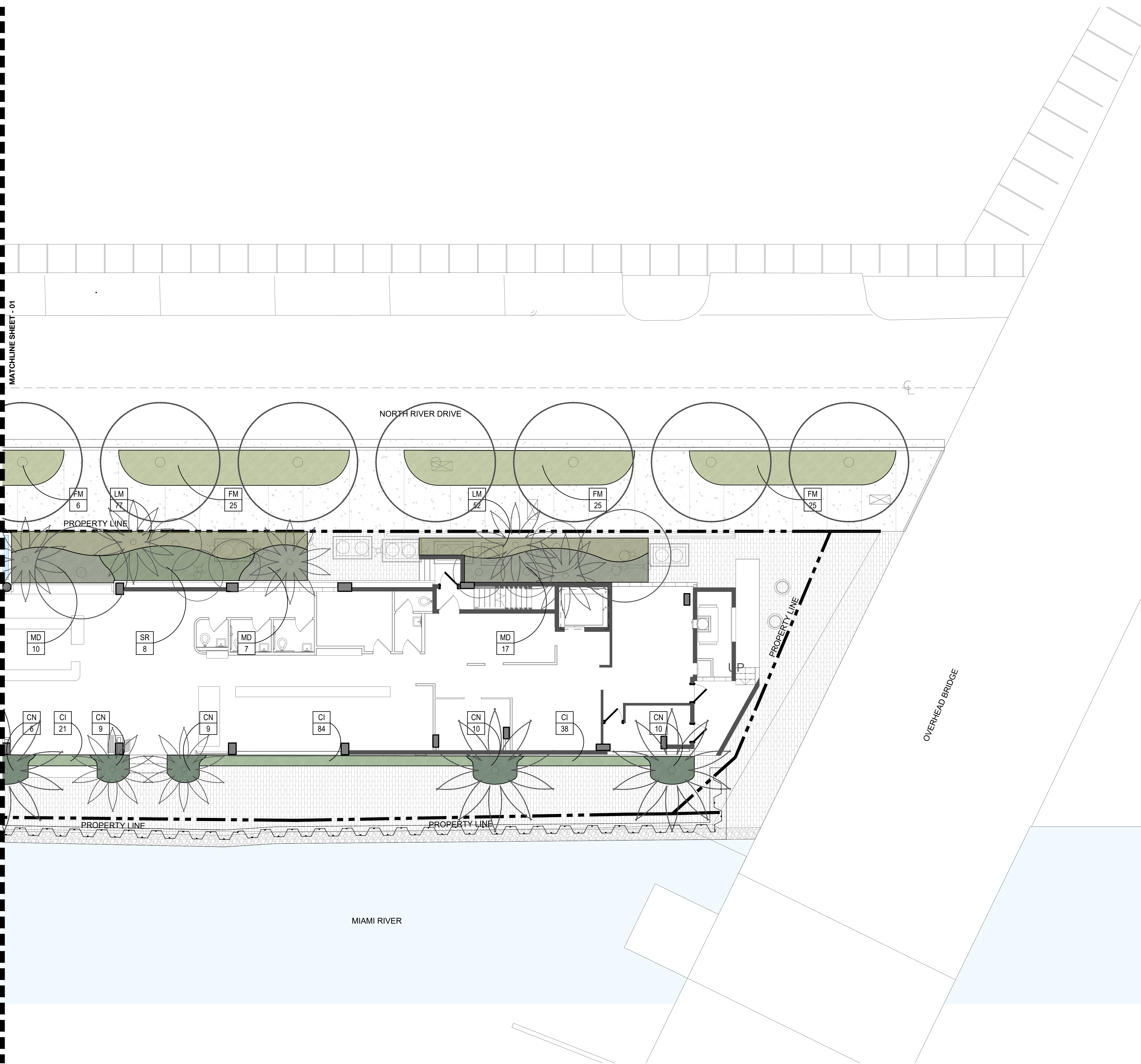
SEAL (MARSH C. KRIPLEN-LA6667007)

SHEET No.:  
**UNDERSTORY PLANTING PLAN**

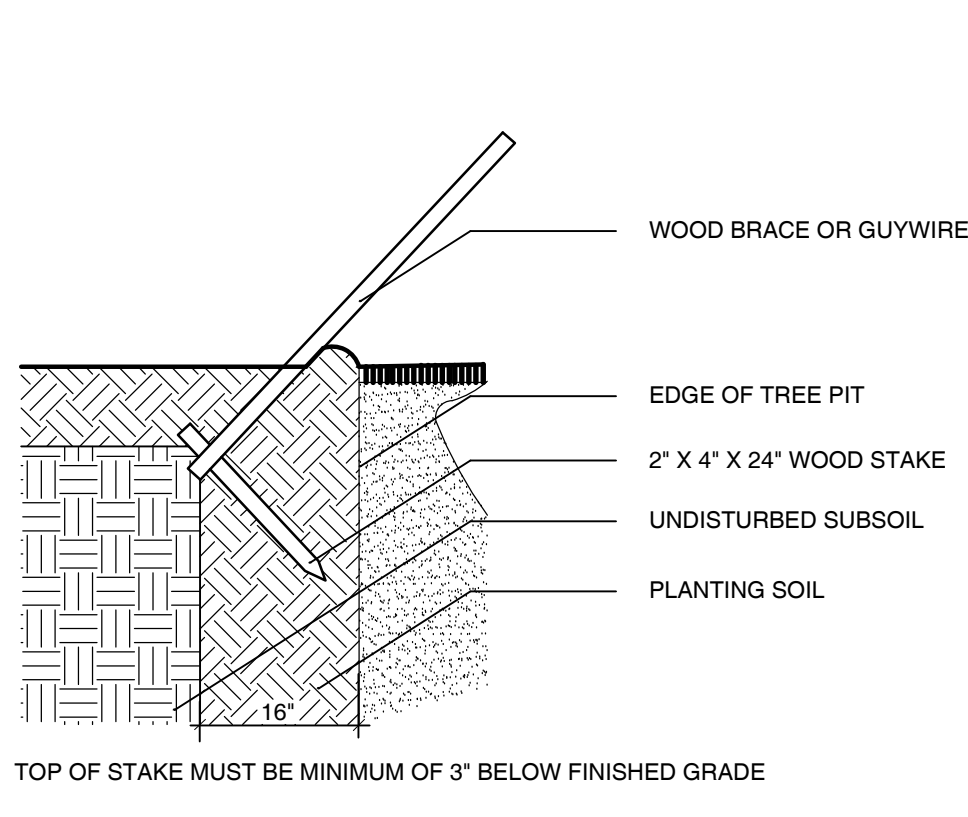
**L421**

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MATCHLINE SHEET - 01







**1 STAKING DETAIL**  
SCALE: NOT TO SCALE

**PREPARATION:**  
STORE ALL MATERIAL IN DRY, CLEAN AREA, COVER TO PROTECT FROM RAIN AND MINIMIZE DUST. COORDINATE RUN-OFF CONTROL WITH GENERAL CONTRACTOR.  
TEST EXISTING SOIL TO ENSURE IT IS FREE OF EXCESSIVE CLAY OR SALT AND ANY CHEMICALS/PETROCHEMICALS WHICH MAY HARM PLANT HEALTH.

**EXISTING MATERIAL:**  
IF INCORPORATING EXISTING SITE SOIL REMOVE ALL ROOTS, AND ROCK LARGER THAN 2" IN SIZE. REMOVE ALL PLASTIC, METAL AND MANMADE DETRITUS.

**MIX:**  
50% EXISTING SOIL  
10% COCO PEAT  
10% COMPOST  
20% CLEAN SAND  
10% PERLITE

**BLEND QUANTITIES NEEDED BY HAND OR MACHINE.**

**INSTALLATION:**  
REFER TO APPROPRIATE DETAILS FOR AMENDMENTS, COMPACTION DEPTHS ETC.

**GENERAL:** REFER TO LANDSCAPE NOTES FOR ADDITIONAL INFORMATION

**4 PLANTING SOIL- TYPICAL**

**MULCH A:**  
PINE STRAW, FOR USE IN GENERAL PLANTING AREAS AND ON SLOPES GREATER THAN 10%

**MULCH B:**  
MINI PINE BARK NUGGETS, FOR USE IN SPECIALTY AREAS

**MULCH C:**  
MELALEUCA MULCH, FOR USE IN GENERAL PLANTING AREAS AND ON SLOPES GREATER THAN 10%

**BLEND QUANTITIES NEEDED BY HAND OR MACHINE.**

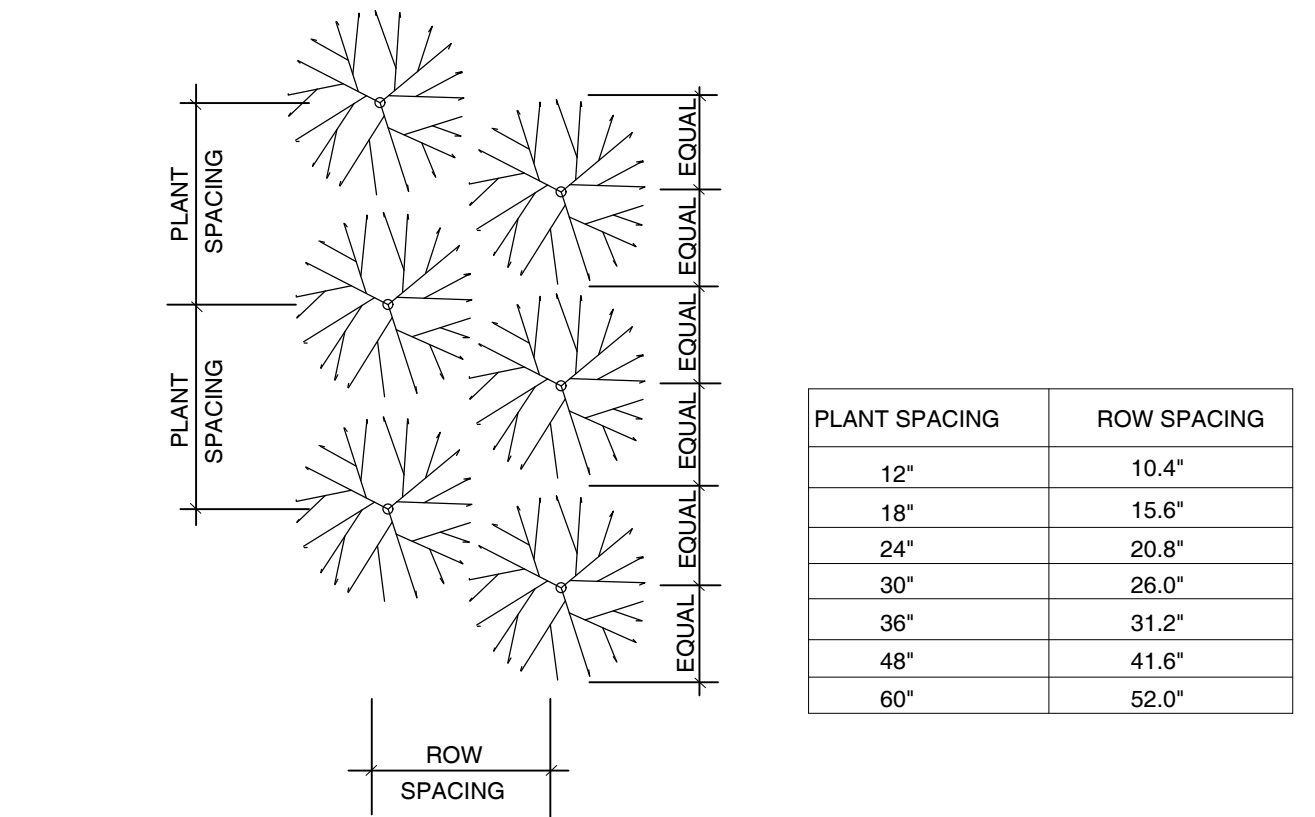
**INSTALLATION:**  
REFER TO APPROPRIATE DETAILS FOR EXTENTS AND DEPTHS.

**GENERAL:** REFER TO LANDSCAPE NOTES FOR ADDITIONAL INFORMATION, CONFIRM TYPE TO BE USED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

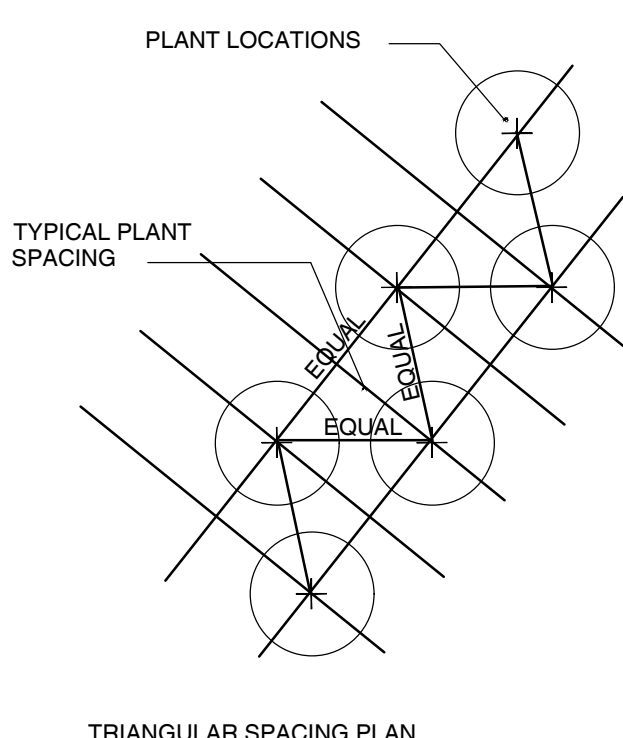
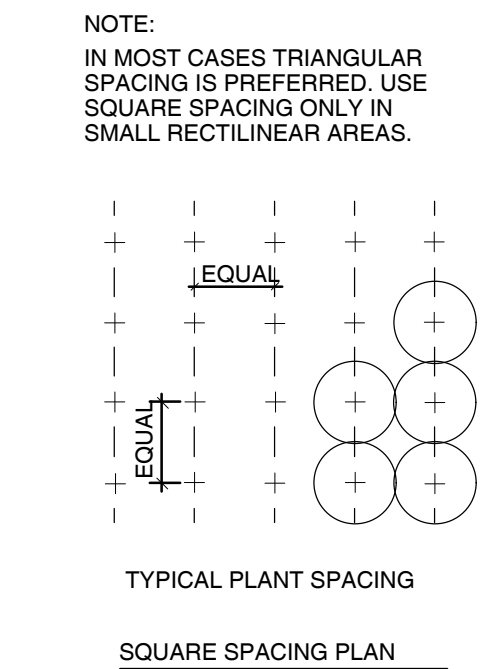
**5 MULCH- TYPICAL**

**MIX:**  
#5050- MULCH AND FINE SAND  
SUPPLIER: ATLAS PEAT AND SOIL 561.734.7300

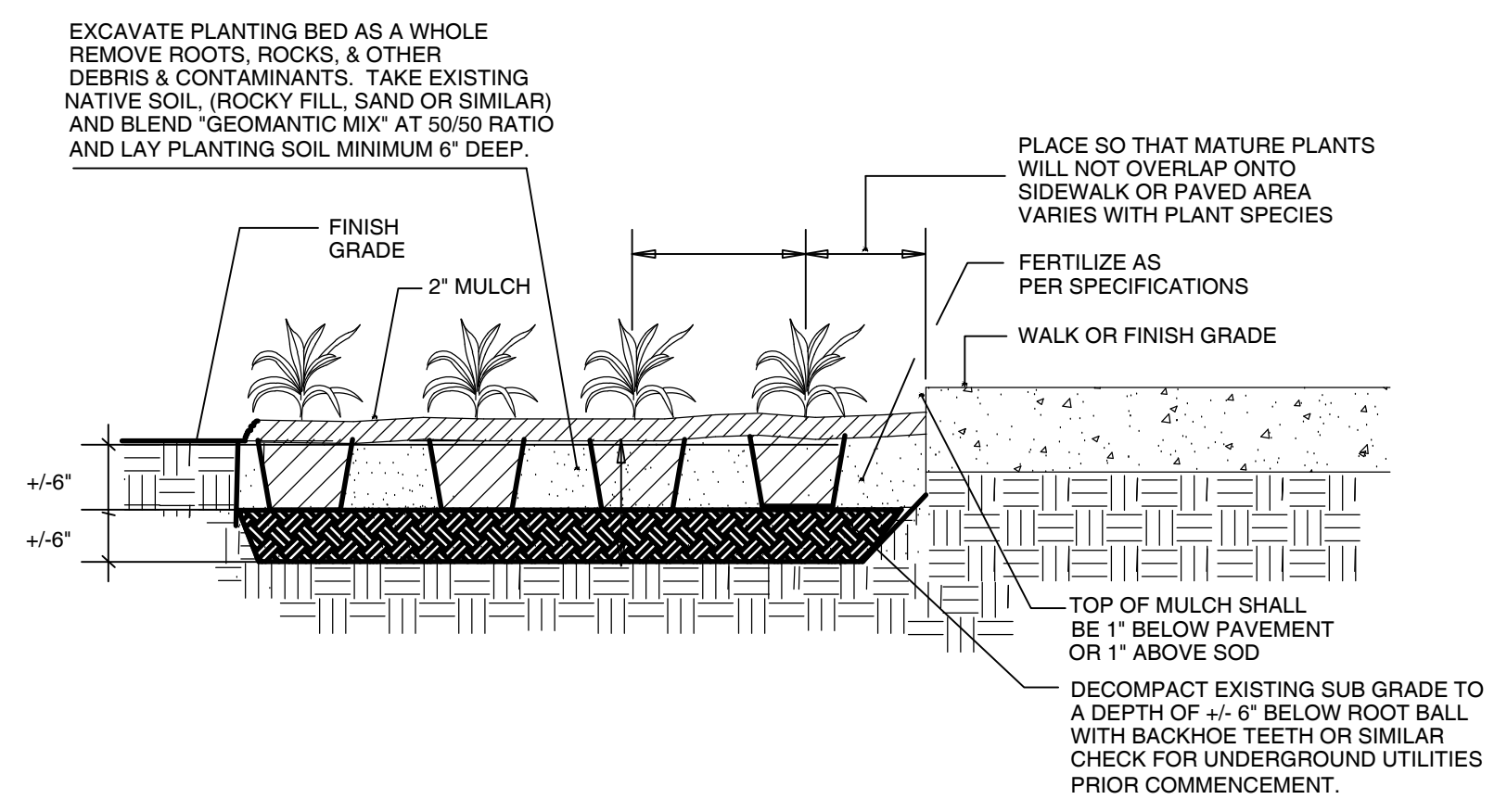
**6 PLANTING SOIL- LAWN TOP DRESSING**



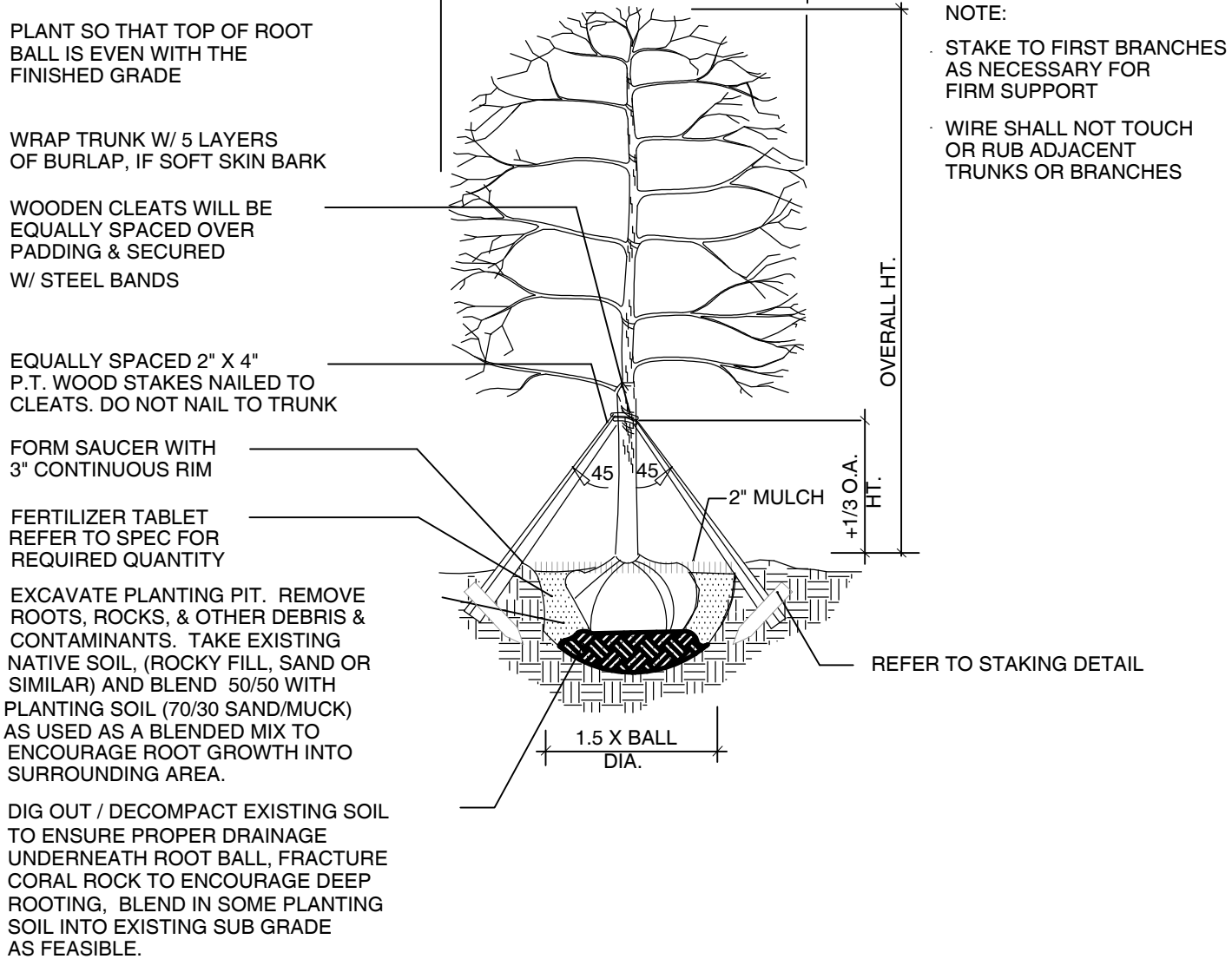
**2 PLANT SPACING**  
SCALE: NOT TO SCALE



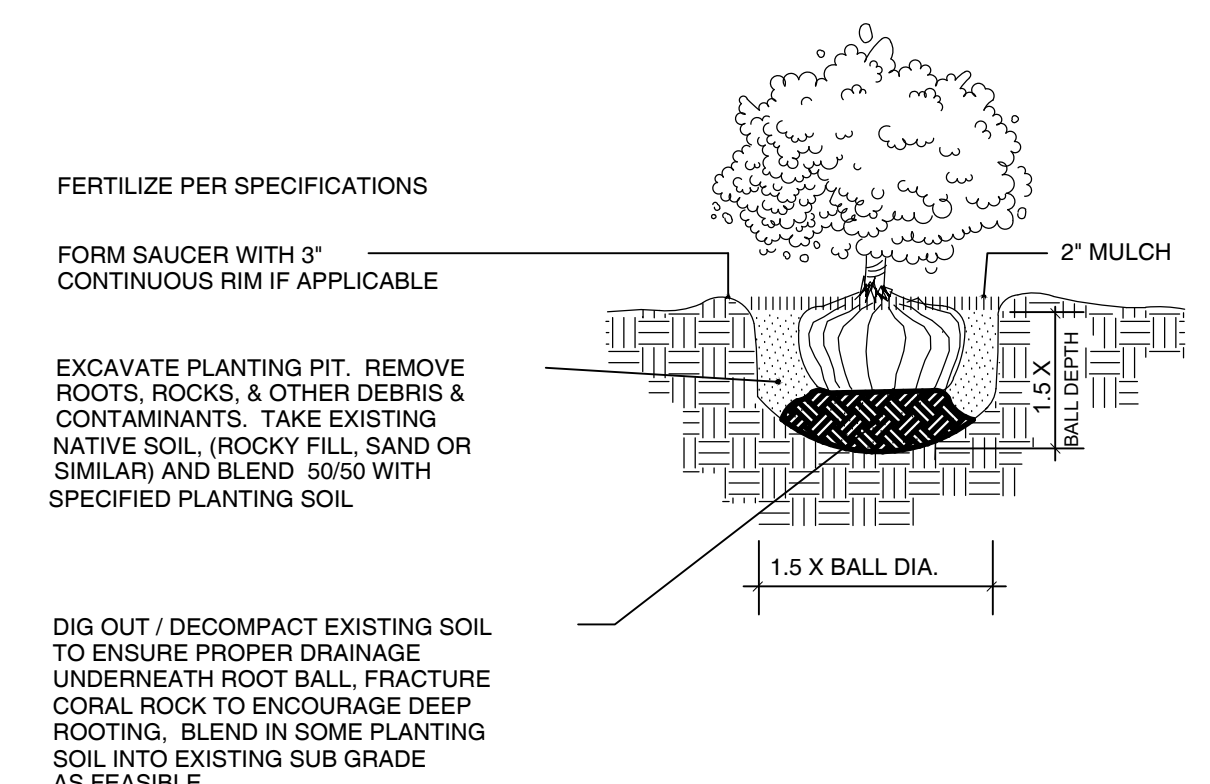
**8 SHRUB- HEDGE AND MASS PLANTING**  
SCALE: NOT TO SCALE



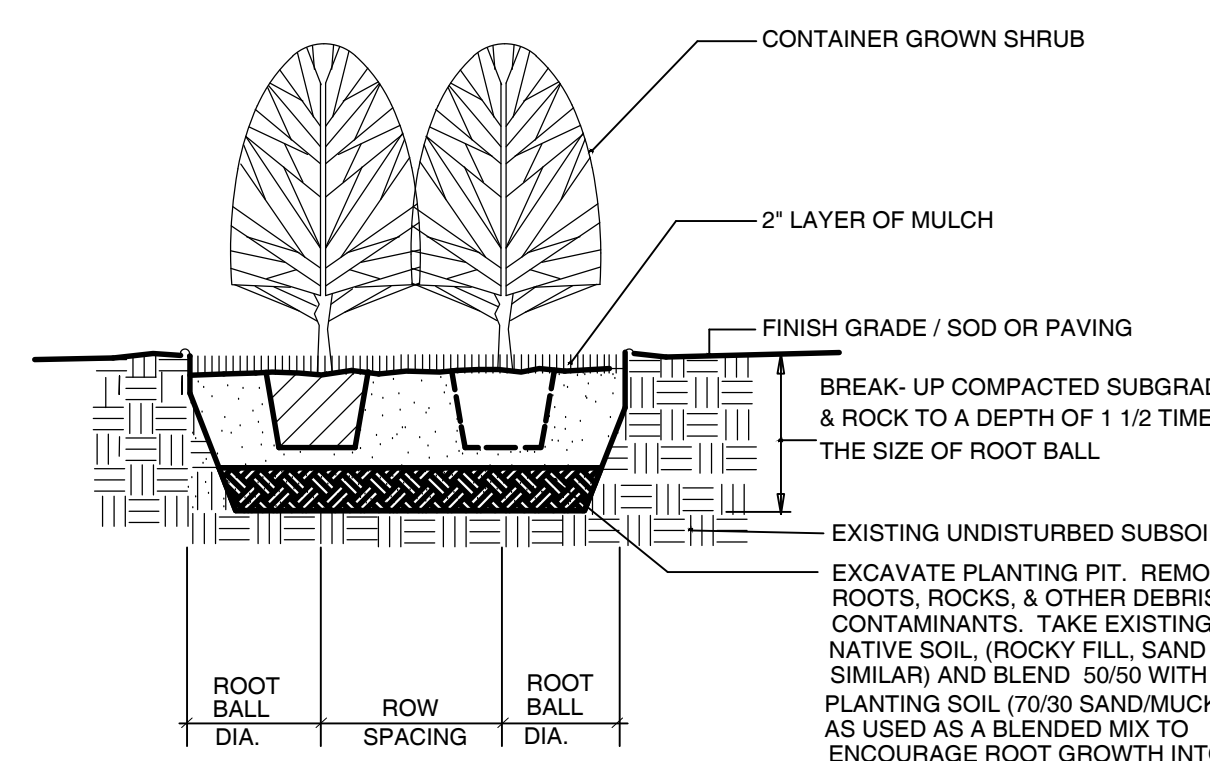
CALIPER	CLEATS	STRAPS	BRACES	NAILS
3" - 8"	2 x 4 x 8"	1 # 12	3 - 2 X 4	2 - 16d
8" - 10"	2 x 4 x 12"	1 # 12	3 - 2 X 4	3 - 16d
10" - 16"	2 x 4 x 12"	2 # 12	4 - 2 X 4	3 - 16d



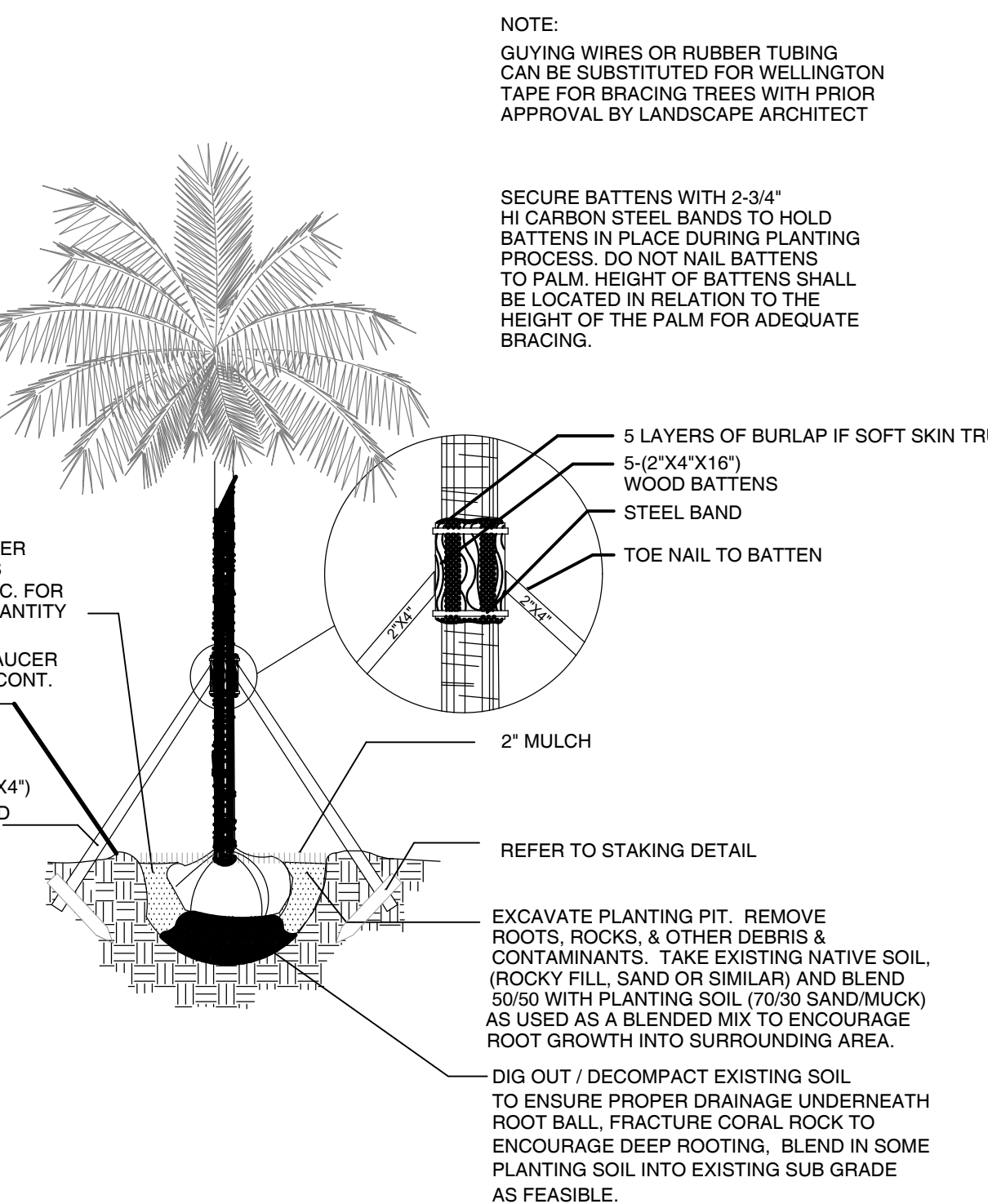
**11 CANOPY TREE- PLANTING & TRIPLE BRACE STAKING**  
SCALE: NOT TO SCALE



**3 SHRUB PLANTING**  
SCALE: NOT TO SCALE

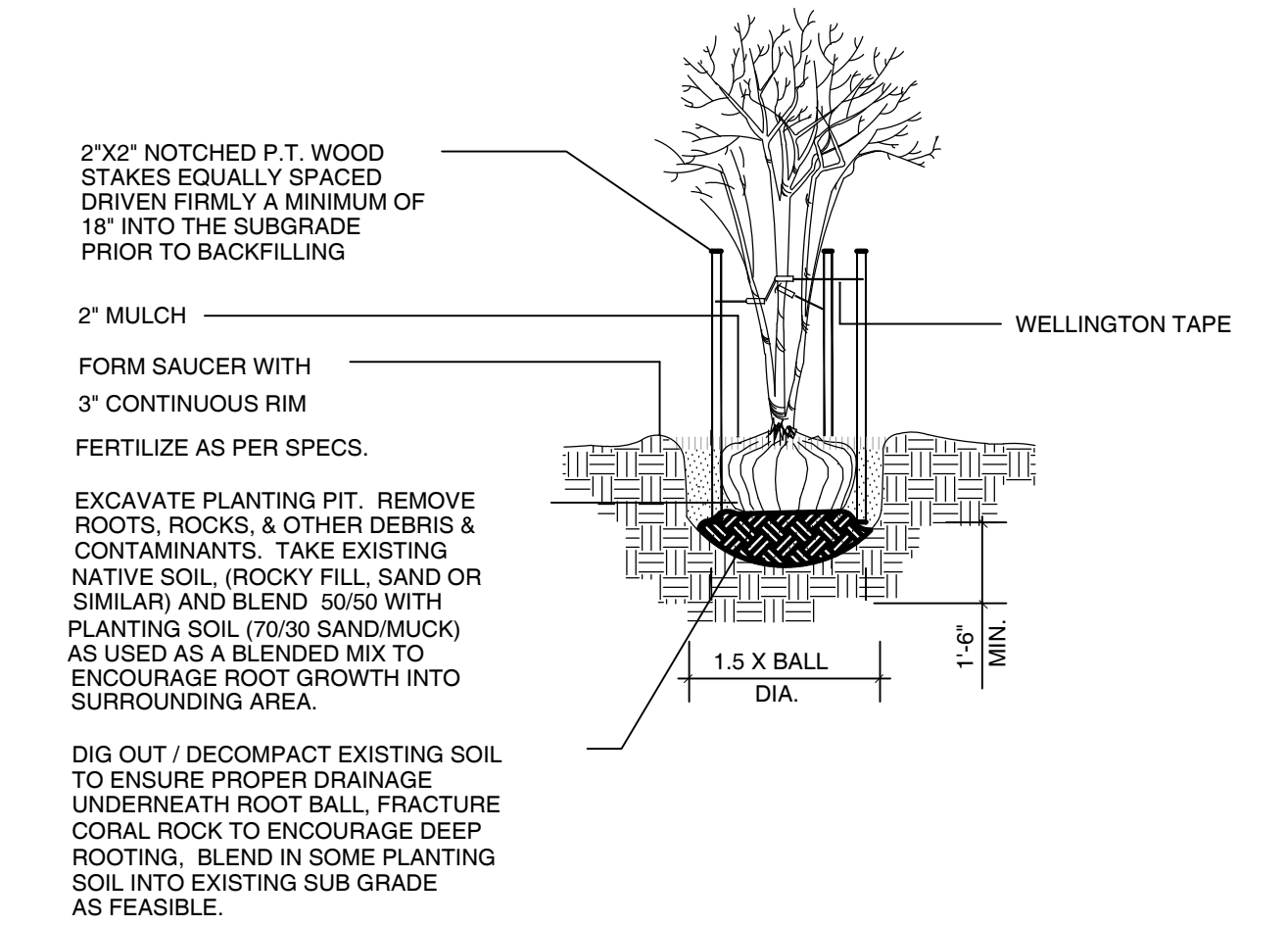


**9 SHRUB- HEDGE AND MASS PLANTING**  
SCALE: NOT TO SCALE

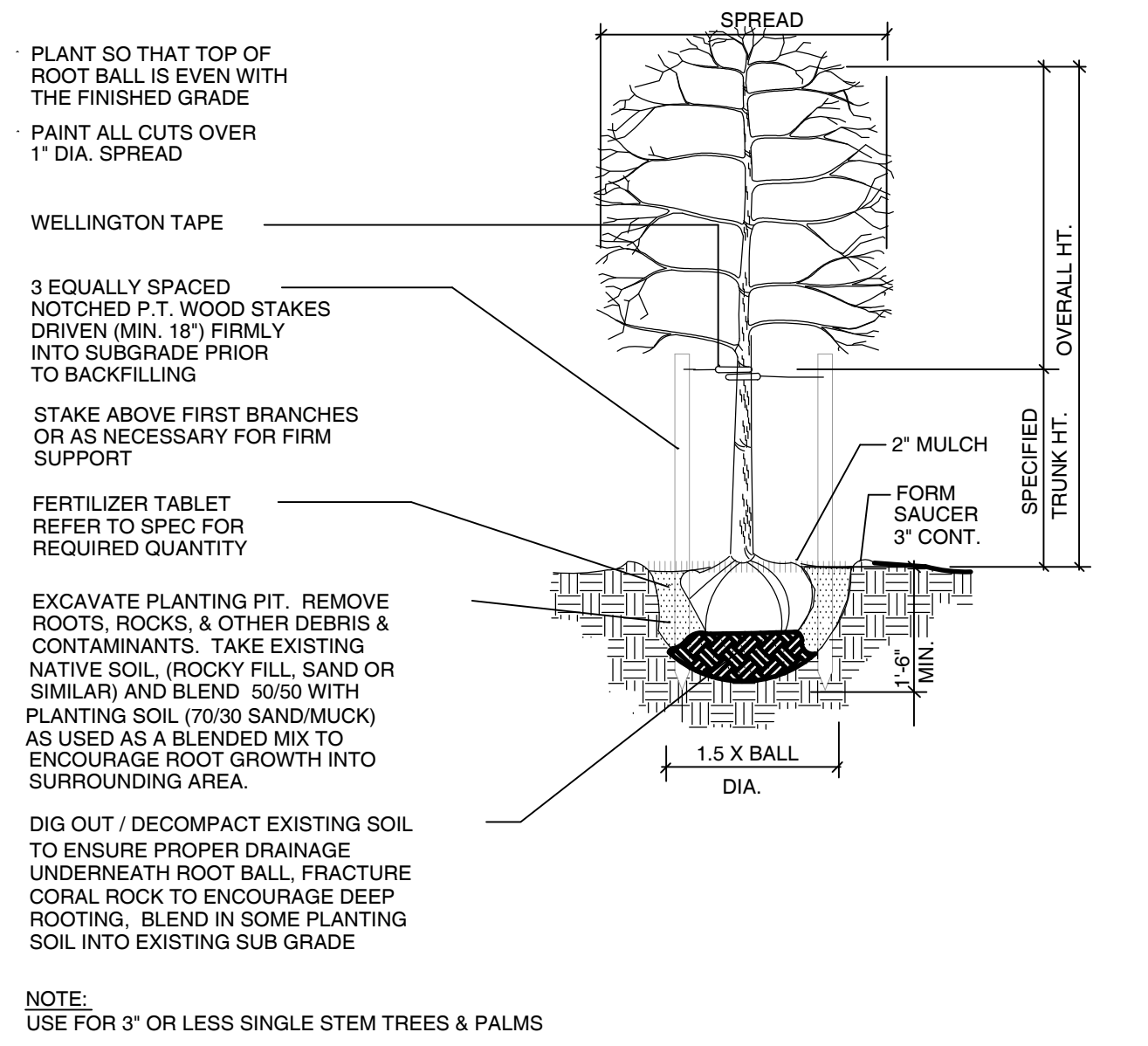


**12 PALM- PLANTING & STAKING**  
SCALE: NOT TO SCALE

**7 MULTI TRUNK TREE- PLANTNG & STAKING**  
SCALE: NOT TO SCALE



CALIPER	TIES	STRANDS	STAKES
1" - 1 1/2"	2	1 # 12	2 - 2 X 2
1 1/2" - 2"	3	1 # 12	3 - 2 X 2
2" - 3"	3	2 # 12	2 - 2 X 2



**10 CANOPY AND PALM TREE- PLANTING & VERTICAL STAKING**  
SCALE: NOT TO SCALE

PROJECT, ADDRESS AND OWNER:

**CASA NEOS**

40 SW NORTH RIVER DR | MIAMI FLORIDA 33130

OWNER:

MILA GROUP

ARCHITECT:



LANDSCAPE ARCHITECT:

**LAND**

7264 NW 1st COURT, MIAMI FL 33150  
614-439-4892  
www.land.design

CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:  
MEP:  
CIVIL ENGINEER:  
LEED CONSULTANT:

**Reviewed for CODE COMPLIANCE**

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Plumbing	_____	___/___/___
Mech.	_____	___/___/___
S. Waste	_____	___/___/___

REV#	DATE	ISSUE

**PERMIT SET**

PROJECT No.: 2118  
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SEAL (MARSH C. KRIPLEN-LA667007)

SHEET No.:  
**PLANTING DETAILS**

**L450**

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BERKOW  
RADELL  
FERNANDEZ  
LARKIN +  
TAPANES

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305.377.6235 office

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[bfernandez@brzoninglaw.com](mailto:bfernandez@brzoninglaw.com)

## **VIA ELECTRONIC MAIL**

April 27, 2022

David R. Snow, Interim Director  
City of Miami Department of Planning  
444 SW 2nd Avenue, 3rd Floor  
Miami, FL 33130

Re: Casa Neo's Miami – Warrant for Outdoor Seating for the  
Property Located at 40 SW North River Drive, Miami, Florida

Dear Mr. Snow:

This law firm represents Casa Neo's Miami, LLC, in relation to the referenced property. The property is more specifically described by Miami-Dade Property Appraiser folio 01-4137-036-0080 (The "Property"). This letter shall serve as the Applicant's letter of intent in support of an application for a warrant to allow outdoor dining in conjunction with three (3) proposed restaurants on the Property pursuant to Article 6.3.2 of the Miami 21 Code.

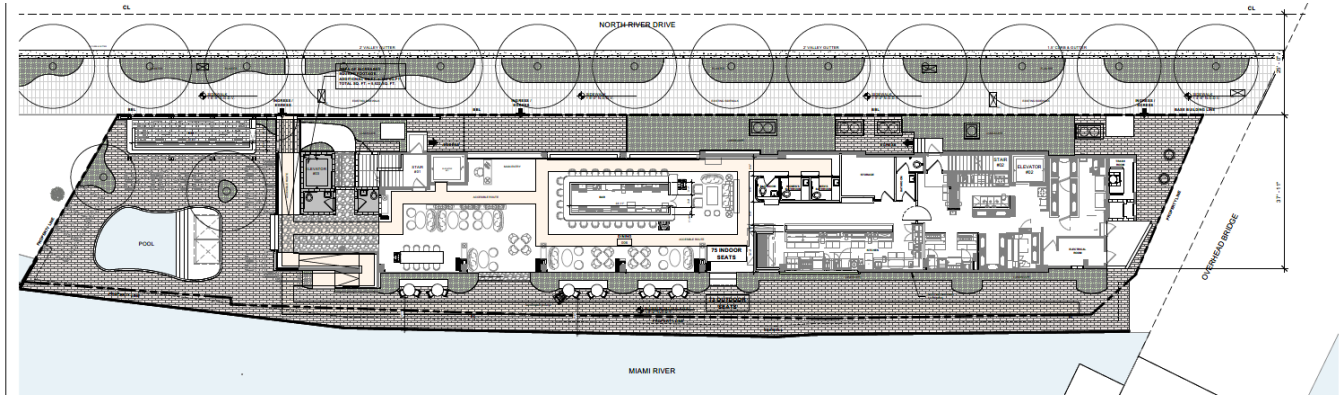
Property. The Property is a long and narrow site approximately 16,946 square feet or 0.38 Acres in size that is uniquely situated on the north side of the Miami River, on North River Drive, immediately abutting the First Street bridge and only a few yards from the Flagler Street Bridge. The Property is presently developed with a 3-story building that is permitted and is partially constructed. The building site plan, elevations and context photos is provided in the Drawings Folder.

Zoning. The Property is located in Miami's Downtown area and is zoned T6-8-0 which allows outdoor seating by Warrant.



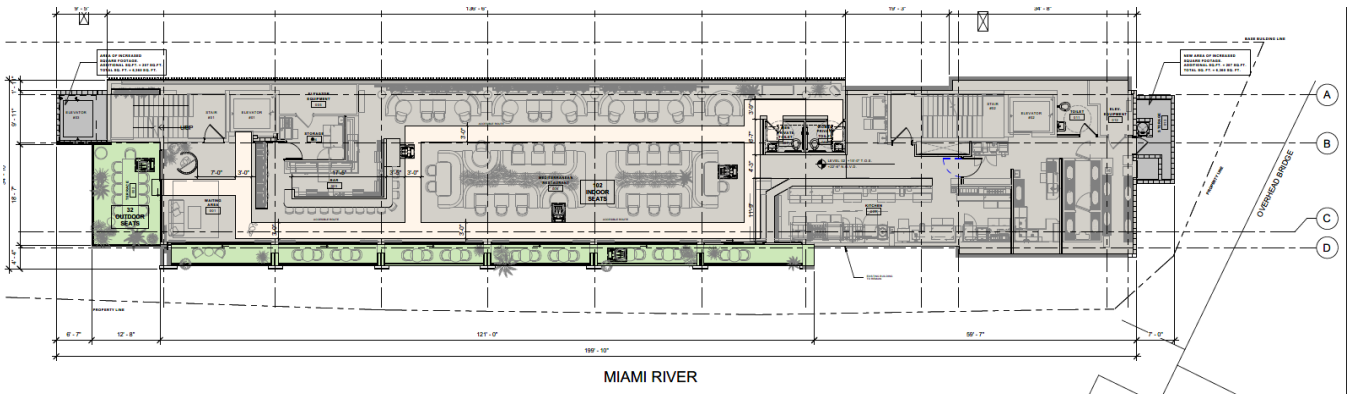
Outdoor dining. The Applicant intends to operate three (3) individual restaurants on the Property that will provide outdoor seating with scenic views of the Miami River, Downtown and Brickell. Each of the three restaurants is anticipated to offer cuisine based on a different region of the Mediterranean Sea. One restaurant will be located on each level of the building and each level will provide outdoor dining and seating as described on the floor plans prepared by G3 AEC, signed and sealed on 04/26/2022, and consisting of three (3) pages.

The ground level restaurant will accommodate up to one hundred forty-eight (148) seats and twenty-nine (29) tables. Seventy-five (75) of the ground level seats will be located indoors and seventy-three (73) seats will be outdoors as described on the Ground Level Floor Plan, (Sheet A-01).



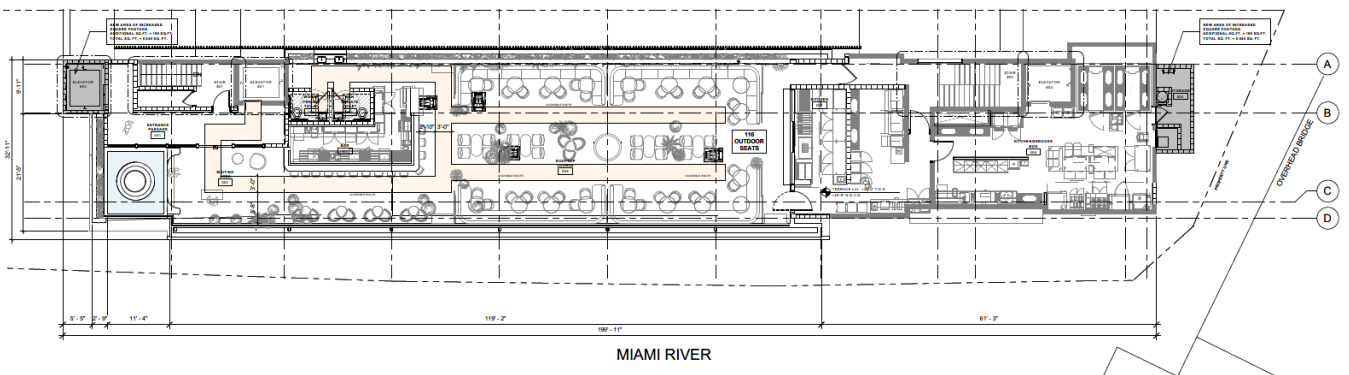
**Ground Level**

The second level restaurant will provide a total of thirty-two (32) outdoor seats and up to eleven (11) tables located in the balcony areas, as described in the Level 02 Floor Plan (Sheet A-02).



**Second Level**

Finally, the terrace level restaurant will accommodate a total of one hundred sixteen (116) seats with twenty-seven (27) tables as described on the Terrace Level Floor Plan, (Sheet A-03).



**Terrace Level**

Operation. The Applicant will ensure that the outdoor dining is conducted in a manner that is respectful and compatible with the neighboring properties. The outdoor dining areas will only be open for dining during the restaurants hours of operation, which will be from 10:00 AM to 2:00 AM. The Second Level of the building will include a small hotel and the restaurant on the Second Level will also offer breakfast from 7:00 AM to 11:00 AM. Each restaurant will offer wine and beer as well as a full bar service as part of dining experience. The outdoor seating areas will be used exclusively for outdoor dining, as weather permits.

The outdoor areas, on both the ground level and the terrace level will be lined along most of SW North River Drive with plants and landscaping that will serve to buffer the patron area from the street and adjacent buildings. There will also be a wall along portions of the River Drive frontage.



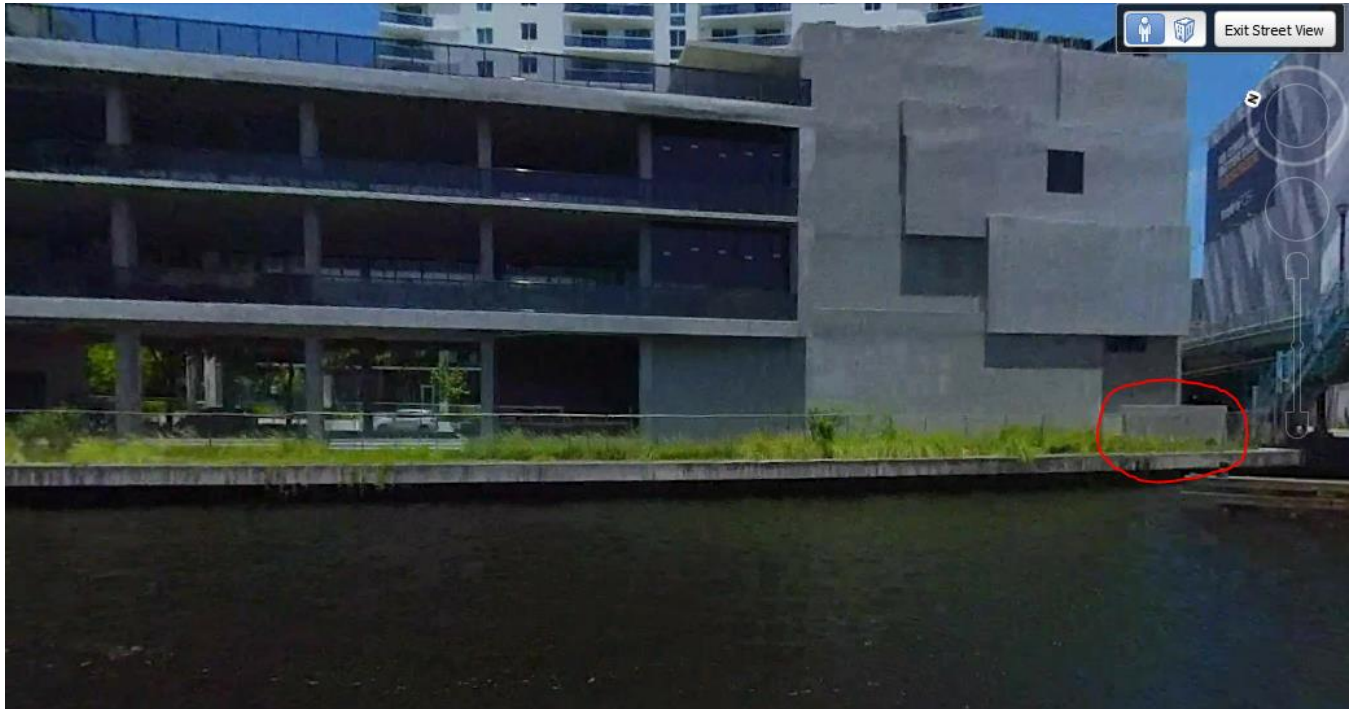
**View from the River**



**View from River Drive**

Access to the River. The Applicant is providing full access to the Miami River as is presently required by Miami 21. Recently, the Applicant presented the outdoor seating plan to the Miami River Commission Greenway Subcommittee together with a draft covenant that requires public access (See Exhibit A). The covenant provides that, “the Owner shall construct a publicly accessible Riverwalk in accordance with the Miami River Greenway Action Plan and Miami 21 Code Waterfront Standards.”

The Applicant’s proposed plan also includes improvements to the Miami Riverwalk area in order to make the existing area more walkable. For instance, there is presently a small stairway that is unnecessary for the project that the Applicant is removing in order to allow a more unimpeded flow of pedestrian access along the Riverwalk.



**Small Stairway to be Removed**

Parking. The Applicant will provide a valet service from the Property for patrons that arrive by car and require parking. The valet operator will be utilizing the on-street parking spaces on SW North River Drive across from the Property for the valet and will park the cars in the nearby Public Parking Lot No. 14 and Lot No. 32 located approximately one (1) block away from the Property. These lots will provide up to one hundred (100) parking spaces for the restaurants.

Analysis. The ability for patrons to dine outdoors along the River is fundamental to the Applicant's restaurant business plan. The Applicant intends to provide an outdoor dining experience along the River similar to those that can be found along the Delaware River in Philadelphia and the Chicago River in Chicago.

Approval of the outdoor dining warrant is also appropriate for the Property as the request meets the applicable Warrant review criteria described in Article 7.1.2.4 (d). The proposed outdoor dining is consistent with the intent the guiding principles of Miami 21 as the restaurants will encourage pedestrian activity along the Miami Riverfront and provide further improvement to the built environment. Allowing patrons to access outdoor seating for dining purposes will also allow them to more fully appreciate the natural resources associated with the Miami River.

The design of the building on the Property is particularly well suited to provide outdoor dining and outdoor seating in a manner that is consistent with the architecture and trend of

development along this burgeoning area of the river. Although the building is narrow, a large segment of the ground level along the river frontage opens to the river and allows patrons to take in spectacular views of the river as well as the new Flagler Street Bridge abutting the Property and the First Street Bridge to the west. A new City park is also to be developed across the River from the Property which will further enhance the view for patrons of the restaurants as well as the pedestrians enjoying the public Riverwalk.

The terrace level seating areas will provide similar views to the river and patrons will be protected from the elements by a retractable roof system.



**Flagler Bridge and New Park Area**





**First Street Bridge**

For all of the foregoing reasons we respectfully request your favorable review and approval of the warrant for the outdoor seating.

Thank you.

Sincerely,

A handwritten signature in blue ink, appearing to read "BF-12".

Ben Fernandez

BF/bl  
Enclosures

This instrument is prepared by:  
Ben Fernandez  
Bercow Radell Fernandez Larkin +Tapanes, PLLC  
200 South Biscayne Boulevard, Suite 300  
Miami, FL 33131

Reserved for Recording

<b>DECLARATION OF RESTRICTIVE COVENANTS</b>
---

**KNOW ALL MEN BY THESE PRESENT** that the undersigned Casa Neo's Partners, LLC, a Florida limited liability company ("**Owner**") hereby makes, declares and imposes on the land herein described, this Restrictive Covenant (the "**Covenant**") running with title to the land contained herein, which shall be binding on Owner, all heirs, grantees, successors and assigns, personal representatives, mortgagees, lessees, and against all persons claiming by, through or under them.

**WHEREAS**, Owner is the fee simple title holder to certain property located at 40 SW North River Drive, located in Miami, Florida, more particularly described in **Exhibit "A"** (the "**Property**") attached hereto and incorporated herein; and

**WHEREAS** the Owner seeks a Waiver application to permit the redevelopment of the Property with Residential, Commercial, Office, and other related uses at the Property (the "**Application**"); and

**WHEREAS**, the Owner voluntarily proffers this Covenant acknowledging and accepting the presence of the existing Working Waterfront 24-hour operations, as permitted, and providing for certain other improvements to the portion of the Property abutting the Miami River; and

**NOW, THEREFORE**, in consideration of the premises, agreements and covenants set forth hereinafter, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged by Owner, Owner hereby agrees as follows:

1. **Recitals.** The foregoing recitals are true and correct and are incorporated herein as if repeated at length.

2. **Restrictions.** Owner covenants the following:

- a. The Owner shall construct a publicly accessible Riverwalk in accordance with the Miami River Greenway Action Plan and Miami 21 Code Waterfront Standards and as consistent with the Site Plan to allow outdoor seating requiring administrative approval by the City of Miami's Planning Department and the Office of Zoning. The minimum width of the publicly accessible Riverwalk's unobstructed circulation zone shall be eight (8) feet wide, while complying with pool safety codes as appropriate.
- b. The Owner shall comply with the applicable City of Miami Code noise regulations and will hire a professional sound engineer to design a system which minimizes unintended noise outside of the venue.

**3. Covenant Running with the Land.** This Covenant on the part of the Owner shall constitute a covenant running with the land and shall be recorded by Owner within ten (10) days of acceptance by the City of Miami ("**City**"), at Owner's expense, in the Public Records of Miami-Dade County, Florida, and same shall remain in full force and effect and be binding upon the undersigned Owner, and its heirs, successors, and assigns until such time as the Covenant is terminated, modified, or released. These restrictions during their lifetime shall be for the benefit of, and be a limitation upon, all present and future owners of the subject Property and for the public welfare.

The provisions of this instrument shall become effective upon their recordation in the Public Records of Miami-Dade County, Florida, and shall continue in effect for a period of thirty (30) years after the date of such recordation, after which time they shall be extended automatically for successive periods of ten (10) years each, unless this Covenant, pursuant to Section 2 and Section 4 herein, is released in writing by the following: (i) then owners of the Property AND (ii) the City's Directors of the Department of Planning and the Department of Zoning subject to the approval of the City Attorney as to legal form, or their respective designees or successors.

**4. Modification, Amendment, Release.** This Covenant may be modified, amended, or released as to the land herein described, or any portion thereof, by a written instrument executed by the then owner(s) of the fee simple title to the Property, or any portion thereof, provided that the same is reviewed by the Miami River Commission, Planning Director and Zoning Director for an advisory recommendation and approved by the City of Miami City Commission. Should this Declaration be so modified, amended, or released, the Directors of the Departments of Planning and

Zoning or the executive officer of a successor department, or their designees or successors, shall execute a written instrument effectuating and acknowledging such modification, amendment, or release, at the direction of the City Commission subject to the City Attorney, or successor or designee, as to legal form.

**5. Inspection and Enforcement.** It is understood and agreed that any official inspector of the City may have the right at any time during the normal working hours of the City's inspector to enter upon the Property for the purpose of investigating the use of the Property, and for determining whether the conditions of this Declaration and the requirements of the City's building and zoning regulations are being complied with. Enforcement shall be by action against any parties or person violating or attempting to violate any covenant contained herein. This enforcement provision shall be in addition to any other remedies available at law or in equity or both.

**6. Election of Remedies.** All rights, remedies, and privileges granted herein shall be deemed to be cumulative and the exercise of any one or more shall neither be deemed to constitute an election of remedies, nor shall it preclude the party exercising the same from exercising such other additional rights, remedies or privileges.

**7. Severability.** Invalidation of any one of these covenants by judgment of Court shall not affect any of the other provisions of this Covenant, which shall remain in full force and effect.

**8. Recording.** This Covenant shall be filed of record in the public records of Miami-Dade County, Florida at the cost of the Owner following the full approval of the Application and expiration of any appeal period. This Covenant shall become effective immediately upon recordation. Notwithstanding the previous sentence, if any appeal is filed, and the disposition of such appeal results in the denial of the Application, in its entirety, then this Covenant shall be null and void and of no further effect. Upon the disposition of an appeal that results in the denial of the Application, in its entirety, and upon written request, the Directors of the Planning and Zoning Departments, or their designees or successors, shall forthwith execute a written instrument, in recordable form, acknowledging that this Covenant is null and void and of no further effect, subject to the City Attorney, or successor or designee, as to legal form.

**9. No Vested Rights.** Nothing in this covenant shall be construed to create any vested rights whatsoever to the Owner, its successors and assigns.

[Signature Page(s) to Follow]

Signed, witnessed, executed and acknowledged this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

**Witnesses**

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Name

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Name

**Casa Neo’s Partners, LLC**, a Florida limited liability company

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Address: 601 Brickell Key Drive  
Suite 101  
Miami, FL 33131

**STATE OF FLORIDA**                    )  
  )**SS**  
**COUNTY OF MIAMI-DADE**        )

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization this \_\_\_\_ day of \_\_\_\_\_, 2022, by \_\_\_\_\_, of Casa Neo’s Partners, LLC, a Florida limited liability company, who is  personally known to me or  has produced \_\_\_\_\_ as identification.

(SEAL)

\_\_\_\_\_  
NOTARY SIGNATURE  
Print, type, or stamp of Notary  
Notary Public, State of Florida  
My. Commission expires: \_\_\_\_\_

**APPROVED:**

By: \_\_\_\_\_  
Daniel Goldberg, Director of Zoning

By: \_\_\_\_\_  
\_\_\_\_\_, Director of Planning

**APPROVED AS TO LEGAL FORM AND CORRECTNESS:**

By: \_\_\_\_\_  
Victoria Mendez, City Attorney

[Signature Page(s) to Follow]



Signed, witnessed, executed and acknowledged this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

**Witnesses**

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Name

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Name

**Casa Neo’s Partners, LLC**, a Florida limited liability company

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Address: 601 Brickell Key Drive  
Suite 101  
Miami, FL 33131

**STATE OF FLORIDA**                    )  
  )**SS**  
**COUNTY OF MIAMI-DADE**        )

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization this \_\_\_\_ day of \_\_\_\_\_, 2022, by \_\_\_\_\_, of Casa Neo’s Partners, LLC, a Florida limited liability company, who is  personally known to me or  has produced \_\_\_\_\_ as identification.

(SEAL)

\_\_\_\_\_  
NOTARY SIGNATURE  
Print, type, or stamp of Notary  
Notary Public, State of Florida  
My. Commission expires: \_\_\_\_\_

**APPROVED:**

By: \_\_\_\_\_  
Daniel Goldberg, Director of Zoning

By: \_\_\_\_\_  
\_\_\_\_\_, Director of Planning

**APPROVED AS TO LEGAL FORM AND CORRECTNESS:**

By: \_\_\_\_\_  
Victoria Mendez, City Attorney

**Miami River Commission's  
Urban Infill and Greenways Subcommittee  
April 7, 2022**

Miami River Commission's (MRC) Urban Infill and Greenways Subcommittee Chairman Jim Murley convened a public meeting on April 7, 2022, 10 AM, in the Lummus Park Community Center, 360 NW 3 ST. The attendee sign in sheet is attached.

**I) Presentation of Proposed Development 300-400 SE 2 Ave**

The applicants requested to defer their item to the MRC subcommittee's May public meeting.

**II) Update Regarding 40 SW North River Drive**

Mr Ben Fernandez, Bercow, Radell, Fernandez, Larkin and Tapanes, and Guillaume Vidallet, presented and distributed plans and a 1<sup>st</sup> draft voluntary covenant to finish the construction of what is now proposed to become 2 restaurants with 4 hotel rooms at 40 NW North River Drive. The proposal is consistent with the current zoning, land use, and the public Riverwalk will comply with the code requirements of Section 3.11, Appendix B, and the Baywalk Riverwalk Design Standards and Guidelines, based on where the incomplete structure was previously constructed. The presenters stated they will submit updated plans, letter of intent and 2<sup>nd</sup> draft Restrictive Voluntary Covenant for the public Riverwalk, Working River Disclosure", and compliance with the noise ordinance, in advance of the MRC's May 2 Public Meeting.

MRC Subcommittee Chairman Murley noted the MRC previously considered this site (formerly known as Sushi Samba / Duck and Waffle House, on November 3, 2014, July 11, 2016 and January 9, 2017. Attendees reviewed and discussed this site's public Riverwalk plans which were previously approved by the MRC and City of Miami on January 9, 2017. The currently proposed public Riverwalk features an unobstructed circulation zone of 8' - 13'3". Attendees noted the pinch point is the small proposed private pool (previous plans had a large tree), which will have a safety fence separating it from the min. 8' wide unobstructed public Riverwalk's circulation zone. The public Riverwalk will be the same elevation as all connecting sections of the public Riverwalk and both side yard connectors. They are seeking a lease for 100 parking spots from Miami Parking Authority's nearby Lot 14, and there is no on-site parking. The applicants agreed to reconstruct the severely damaged on-road Miami River Greenway along NW North River Drive. The applicants noted perhaps the City would provide them an impact fee credit for doing so. The applicants currently operate "Mila's" Restaurant on South Beach.

MRC Subcommittee Chairman Murley suggested the MRC support the presented project. The item will be presented at the MRC's May 2 public meeting. The public meeting adjourned.

**PUBLIC DOCUMENT**

Miami River Commission's  
Urban Infill and Greenways Subcommittee  
Public Meeting

April 7, 2022 - Noon

Lummus Park Community Center, 404 NW 3 ST

Name	Organization	Telephone	Email
MEGAN KELLY	Office of Mayor Suarez		megankelly065@gmail.com
JIM MURLEY	MDC		James.Murley@miamidade.gov
GUILLAUME VIDALLET		860 713 8516	GUILLAUME@RIVIERADININGGROUP.COM
Ben Fernandez	BRFLT	305 377-6235	B Fernandez@Brzoninglaw.com
Brett Bibeau	MRC	305 644 0544	brettbibeau@miamirivercommission.org

**Miami River Commission  
Meeting Minutes  
July 11, 2016**

Mr. Horacio Stuart Aguirre, Chairman of the Miami River Commission (MRC), convened the public meeting at noon, July 11, 2016, 1407 NW 7 ST.

**Miami River Commission (MRC) Policy Committee Members and/or Designees attending:**

Horacio Stuart Aguirre, Appointed by the Governor  
Jay Carmichael, Member at Large Appointed by the Governor  
Patty Harris, designee for Governor  
Bruno Barreiro, Miami-Dade County Commissioner  
Marlene Avalo, designee for Miami-Dade County Commissioner Bruno Barreiro  
Gary Winston, designee for State Attorney  
Sandy Batchelor, designee for South Florida Water Management District  
Eric Riel, designee for the Downtown Development  
Philip Everingham, designee for the Marine Council  
Sandy O'Neil, designee for Greater Miami Chamber of Commerce  
Bruce Brown, Miami River Marine Group  
Ernie Martin, Neighborhood Representative appointed by City of Miami  
Sallye Jude, Neighborhood Representative appointed by Miami-Dade County

**MRC Staff:**

Brett Bibeau, Managing Director

**Others attending interested in the River:**

Please see attached sign in sheets.

**I) Chair Report – MRC Chairman Horacio Stuart Aguirre**

The MRC unanimously adopted their previously distributed draft May 9, 2016 public meeting minutes.

Please note 2 recent positive articles in the press:

The New York Post article titled “Forget South Beach – this is Miami’s coolest ‘hood’” the Miami River District.

Miami Today recognized MRC Director Brett Bibeau with a Best of Miami award

As promised for anyone whom was unable to attend personally there is a rotating PowerPoint of pictures from the 20<sup>th</sup> Annual Miami Riverday held April 2<sup>nd</sup>, which was another river commission outstanding success.

One of the most difficult balancing acts on the historic mixed use Miami River is the openings and closings of the Brickell Bridge for vessels along Port Miami River’s federal navigable

channel. The MRC continues to advocate for our list of action items designed to alleviate vehicular congestion.

Friendly reminder similar to the City and County the MRC does not have public meetings in August, therefore our next meeting will be September 12, here at noon.

MRC Chairman Aguirre asked Patty Harris, Jay Carmichael and Bruce Brown to review the MRC's By-Laws.

**Jay Carmichael, Miami River Voluntary Improvement Plan (VIP)**

The following is a sample of some of the items recently addressed in the Miami River Voluntary Improvement Plan (VIP):

We thank FPL for making some of the promised improvements to their section of the public riverwalk, and recommend they complete the project.

We thank the City of Miami for partnering with 35 MRC volunteers to finish the cleanup and removal of massive invasive plant species along Fern Isle Park's shoreline, in preparation for the relocation of the historic Tamiami Swing Bridge. The homeless camp issue is ongoing, and the City of Miami continues to work on it today.

We thank a River resident for emailing the MRC pictures of a plume of contamination entering the Miami River from a storm water outfall in Fort Dallas Park. The City and County are searching for the source of this contamination.

We thank Miami-Dade County for commencing repairs of the iconic colored lights along the Metro-Rail Bridge, and recommend they complete the remaining phases of the project.

We thank One River Point for funding 2 cleanup / landscape shifts per week along the public Riverwalk.

We thank City of Miami Marine Patrol SGT Lai for commencing a 1 month pilot program focused on writing tickets for speeding boats violating the Miami River's idle / no wake speed zone. Mr. Carmichael noted considering the vast area of Biscayne Bay and the Miami River which the City of Miami Marine Patrol covers, it has limited resources.

**II) Review of 40 SW North River Drive, "Sushi Samba / Duck and Waffle House" As Built Conditions and MRC Approved Plans**

The MRC Urban Infill and Greenways subcommittee's June 22, 2016 public meeting minutes were distributed stating in part:

"Brett Bibeau, Managing Director of the Miami River Commission, provided the following documents:

- MRC's 11/3/14 public meeting minutes featuring plans for this site state in part, "features the public Riverwalk consistent with Miami 21 Section 3.11, Appendix B, and the City Charter"

- Development Plans presented and approved at the MRC's 11/3/14 public meeting featuring a 14-foot wide public Riverwalk, including an 8'4" wide unobstructed circulation zone, 1-foot wide transition zone, 1'8" wide passive zone, and a 3' wide safety zone, continuous across the entire site
- Revised Development Plans provided by developer team at a site visit on March 15, depicting a public Riverwalk inconsistent with Miami 21 Section 3.11, Appendix B and the City Charter, as the width was reduced from 14' required to 12' wide total, while reducing the unobstructed circulation zone from 8'4" wide to 4'6" (ADA requires 5' minimum) - 5'10". In addition the revised narrower public Riverwalk, which is no longer consistent with Miami 21 Section 3.11, Appendix B and the City Charter, is now no longer continuous across the entire site, and the public side-yard connectors (from sidewalk to public Riverwalk on both sides) were reduced in width as well.
- Picture of on-site conditions taken during the March 15 site visit, depicting the as built conditions which are not consistent with Miami 21 Section 3.11, Appendix B and the City Charter
- 5/27/15 email from project architect Arturo Griego to Bibeau stating, "we have made it pretty clear that the walkway is unobstructed"
- 3/9/16 email from project architect Arturo Griego stating in part, "it should not be different than you last saw"
- 3/31/16 email from Bibeau to Griego, "PLS reply the updated plans"
- 3/31/16 email reply from Griego to Bibeau, "working on it now"
- 4/18/16 email from Bibeau to Collin Worth, City of Miami Bike / Ped Coordinator noting the issue at hand
- 6/10/16 email from Bibeau to Griego stating:  
"Per our conversation 6/22, 3 PM, 1407 NW 7 ST, smaller multi-purpose room  
PLS bring 10 copies of original plans presented to MRC and 10 copies of current plans  
PLS email new plans and old plans by 6/21  
THX and have a nice day  
Sincerely,  
Brett"

Mr. Bibeau stated during the site visit the construction foreman indicated part of the problems with the narrowed Riverwalk width were created by a late change in the site's elevations, which upset the architects whom were unaware of this unfortunate change which negatively impacted the planned width of the public Riverwalk.

Mr. Bibeau stated over the past few months he reported this issue on the record at the City of Miami's Waterfront Advisory Board twice, and notified 2 staffers in the City of Miami Planning Department, and a staffer in the Building Department.

Mr. Bibeau stated the development team didn't accept the invitation to participate in this public meeting, and they didn't email the MRC's repeatedly requested updated development plans and City Building Permit. The City of Miami indicated that this site is being constructed under a "phased permit", where the developer assumed liability for constructing ahead of final building

permits, and is therefore responsible to correct anything constructed which upon inspection by City is deemed inconsistent with Miami 21 Zoning Code or the City Charter.

MRC Urban Infill Subcommittee Chairman Murley and Greenways Subcommittee Chairman Martin suggested the MRC reaffirm the 11/3/14 recommendation for approval of the project which featured a public Riverwalk consistent with Miami 21 Section 3.11, Appendix B, and the City Charter. Chairmen Murley and Martin suggested MRC Chairman Aguirre and Director Bibeau continue communications with the City of Miami and Development team leading up to this time sensitive item being considered by the full MRC on July 11, noon, 1407 NW 7 ST.”

**The MRC passed a unanimous resolution reaffirming their 11/3/14 recommendation for approval of the Sushi Samba / Duck and Waffle House Restaurant development which featured a public Riverwalk consistent with Miami 21 Section 3.11, Appendix B, and the City Charter. The MRC directed MRC Chairman Aguirre and Director Bibeau to continue communications with the City of Miami and Development team.**

### **III) Consideration of Proposed Miami Circle Phase II Improvements**

The MRC Urban Infill and Greenways subcommittee’s June 22, 2016 public meeting minutes were distributed stating in part:

“Kerri Post, Deputy Secretary of State, and Dr. Timothy Parsons, Department of State (DOS), presented a “Miami Circle Update” PowerPoint. Ms. Post thanked MRC Director Bibeau for his positive assistance in addressing numerous issues at Miami Circle Park such as removal of homeless camps, significant illegal parking, park maintenance and landscaping, etc. Mr. Bibeau thanked Ms. Post and Dr. Parsons for their support in moving the Miami Circle Park forward in a positive direction.

Ms. Post presented the site’s “Phase I” improvements including replanting the existing planter beds along the public Riverwalk, installing bolder benches, boulders to block illegal parking, and dog waste stations. Phase I is under contract and estimated for completion before the end of the State’s fiscal year on June 30, 2016.

Ms. Post presented the 1<sup>st</sup> draft Phase II improvements to Miami Circle Park which includes a life size 3D model / replica of the actual Miami Circle, additional historic signage, installing three additional seating areas, and filling the majority of the currently open greenspace with 3 foot tall “ground cover” native plants. Ms. Post stated the current 1<sup>st</sup> draft Phase II plan has not been finalized. The PowerPoint included a couple “Current Conditions” pictures taken in March or April showing dirt on much of the planned grass area. Director Bibeau provided more recent “Current Conditions” pictures of the site taken this month which show the grass areas have recovered and the formerly barren areas of dirt are now green grass (irrigation system was previously turned off, and was turned back on a few months ago). Mr. Bibeau asked Ms. Post to please replace the “Current Conditions” pictures in the presentation with the provided more current pictures, prior to the July 11 presentation to the MRC, noon, 1407 NW 7 ST.



Ms. Post noted the site has issues with violations of laws regarding dogs, for example some owners are allowing their dogs off leashes and not throwing away dog waste. Director Bibeau thanked City of Miami Police SGT Valdes and his officers whom recently completed training on the current dog laws and will start enforcing them at Miami Circle Park. Director Bibeau noted the City of Miami's standard Park Laws do not allow dogs, and several years ago DOS and History Miami posted signs indicating no dogs allowed in Miami Circle Park. Since then DOS decided to again allow dogs in Miami Circle Park (featuring a dog water fountain), which is a designated National Historic Landmark.

Greg Bush, Urban Environment League (UEL), served on the DOS Miami Circle Planning Committee and played a significant role in preserving the site. Mr. Bush sent an email stating, "I think more attention should be paid to showcasing the real Miami Circle site – finding the technology to display it while keeping it safe from the elements...I also dislike covering over much of the grass with low shrubs. The public needs more positive waterfront space for picnics and such activities."

Mr. Parsons stated DOS has analyzed ways to display the real Miami Circle and provide needed protection from the elements, and determined it is not possible to display the actual Miami Circle while providing sufficient protection from the elements. Therefore DOS is proposing the life size 3D replica / model on the exact location of the Miami Circle, which will remain covered by dirt for protection.

Dr. Martin noted the small site's current design was created after over a decade of public meetings, Planning Committees, charrettes etc. After Miami Circle Park was completed and opened to the public, it was awarded a National Historic Landmark designation. Based on extensive public input, the site includes 3 small open greenspace / grass areas which allow for multiple public recreational uses. Miami has the least square footage of open public greenspace of any large City in the U.S., and the immediate area is densely populated with an additional adjacent over 1,600 approved residential units starting construction soon.

MRC Greenways Subcommittee Chairman Martin and Urban Infill Subcommittee Chairman Murley recommended approval of the Miami Circle Park Phase I and Phase II improvements with one condition, preserving the originally planned and existing open green space / grass areas."

Ms. Post presented an updated PowerPoint, including a couple more recent "Current Conditions" pictures of the site taken this month which show the grass areas have recovered and the formerly barren areas of dirt are now green grass (irrigation system was previously turned off, and was turned back on a few months ago).

Ms. Post thanked MRC Director Bibeau for his positive assistance in addressing numerous issues at Miami Circle Park such as removal of homeless camps, significant illegal parking, park maintenance and landscaping, etc. Mr. Bibeau thanked Ms. Post and Dr. Parsons for their support in moving the Miami Circle Park forward in a positive direction.

Ms. Post stated the presented 1<sup>st</sup> draft Miami Circle Phase II improvement plans are not finalized, and they are scheduled to present to the City of Miami's Historic and Environmental Preservation Board on September 6.

Ms. Harris stated she preferred the Miami Circle Park National Historic Landmark site adopt the City Parks law regarding no dogs allowed in Parks.

Under a separate project between the Miami Parking Authority (MPA) and Florida Department of Transportation (FDOT), all agencies have executed permission to allow Bob Carr to start archeological explorations beneath the Brickell Bridge's south shore, in preparation for the MPA's fully funded and designed public Riverwalk connector and public paid parking. Now FDOT has to provide Mr. Carr with access (key to gate) in order to explore the subject area.

**The MRC passed a resolution (8-2) recommending approval of the Miami Circle Park Phase I and Phase II improvements subject to the following 2 conditions:**

- 1) **preserving the originally planned and existing open green space / grass areas**
- 2) **State provide funding to implement and maintain DOS proposed improvements**

#### **IV. MRC Subcommittee Reports**

##### **A. Greenways Subcommittee - Chair Dr. Ernie Martin**

The MRC partnered with Hands on Miami and Viacom to bring 100 volunteers here on May 20. The volunteers worked along the public Miami River Greenway from here to 5<sup>th</sup> Street Bridge and planted 150 plants, spread 150 bags of recycled mulch, picked up litter, painted a mural of a flamingo, tended the community vegetable and fruit garden, interacted with the elderly affordable housing residents by enhancing the lunch, playing dominoes, and providing free manicures.

On June 25 the MRC hosted volunteers in Sewell Park in partnership with Maria, ECOMB, and the Gay Alliance.

On July 12 the MRC is hosting 35 volunteers in partnership with the from the Miami Dolphins and the City of Miami to remove garbage and invasive species along the shoreline in Fern Isle Park, in preparation for the ribbon cutting ceremony for the relocated Tamiami Swing Bridge.

In September the MRC will be hosting 2 Saturday volunteer Miami River cleanup events on the 10<sup>th</sup> and 17<sup>th</sup>.

##### **B. Stormwater Subcommittee - Chair Sallye Jude**

The Stormwater subcommittee's June meeting minutes were distributed.

The City administration understandably deferred their agenda item to select the Wagner Creek and Seybold Canal maintenance dredging and environmental cleanup project's contractor from July to September or October.

Agencies continue implementation of the Miami River Walk the WBID.

**C. Economic Development and Commerce Subcommittee – Chair Philip  
Everingham**

The next public MRC Economic Development and Commerce Subcommittee meeting will be held after the August public meeting break, on September 9, here at 10 AM.

The meeting adjourned.

**Miami River Commission  
 Public Meeting**

Monday, July 11, 2016  
 Noon  
 1407 NW 7 ST  
 Miami, FL

<u>NAME</u>	<u>ORGANIZATION</u>	<u>PHONE / FAX / E-MAIL</u>
Sandy O'Neil	Gmcc	oneils@bellsouth.net (305) 773-4535
Loreta Blanco	Iron Brickell	786-220-6880-managert2 @ironbrickell.com
Cynthia Bettner	Taste of Brickell	786-355-4800 c_bettner@yahoo.com
Robert Weinreb	City of Miami	305 416-1209 rweinreb@miamigov.com
Domini Gibbs	City of Miami	305-250-5380
KERRI POST	FL. DEPT. OF STATE	kerri.post@dos.myflorida.com
Mark Bailey	MRMG	Mark.bailey@miami-rivermanagement.org
Gary Feinberg	Fortune/Reader	Feingary@gmail.com
John C. Robbins	Miami Today	
JOHN M. CORNELL	AIC/T-555	(580) 214-1475
DUBER LUZARDO	MIRMB/ANTILLEAN	305-633-6361 DLUZARDO@ANTILLEAN.COM
Ernie Martin	MRC	305 325-8730
PATRICIA A. HARRIS	MRC	PATTYKAK@GMAIL.COM
Lourdes Barrelli	DERM/MDC	barrell@miamidade.gov 305-372-6595

## Miami River Commission Public Meeting

Monday, July 11, 2016  
Noon  
1407 NW 7 ST  
Miami, FL

<u>NAME</u>	<u>ORGANIZATION</u>	<u>PHONE / FAX / E-MAIL</u>
SANDY BATCHELOR	MRC/DESIGNER SFWD	SBATCHELOR@SFWD.GOV
BRUCE L. BROWN	MRC	BRUCE102@bellsouth.NET
PHIL EYERINGHAM	MBC/MARINE COUNCIL	305 951-9096; pbemsdd@hotmail.com
Jay Carmichael	MRC	305-376-6090; jcarmichael@qunstar.com
Horacio Stuart Aguirre	MRC	Horacio@hsaguirre.com

**Miami River Commission  
Meeting Minutes  
January 9, 2017**

Mr. Horacio Stuart Aguirre, Chairman of the Miami River Commission (MRC), convened the public meeting at noon, January 9, 2017, 1407 NW 7 ST.

**Miami River Commission (MRC) Policy Committee Members and/or Designees attending:**

Chairman Horacio Stuart Aguirre, Appointed by the Governor  
Patty Harris, designee for Governor  
Frank Balzebre, designee for Miami-Dade County Mayor Gimenez  
Marlene Avalo, designee for Miami-Dade County Commissioner Bruno Barreiro  
Gary Winston, designee for State Attorney  
Philip Everingham, designee for the Marine Council  
Sandy O'Neil, designee for Greater Miami Chamber of Commerce  
Bruce Brown, Miami River Marine Group  
Ernie Martin, Neighborhood Representative Appointed by City of Miami  
Manny Prieguez, Member at Large appointed by City of Miami  
Duber Lizardo, designee for Sara Babun

**MRC Staff:**

Brett Bibeau, Managing Director

**Others attending interested in the River:**

Please see attached sign in sheets.

**I) Chair Report – MRC Chairman Horacio Stuart Aguirre**

The Miami River Commission unanimously adopted the distributed draft November 14, 2016 public meeting minutes, which were previously distributed via electronic mail.

**II. Consider Proposed Warrant to Allow a Restaurant in D3 Zoning Located at 125, 129 and 131 NW South River Drive**

One week prior to the MRC's meeting the following backup materials were emailed to the MRC database:

- MRC Urban Infill Subcommittee's 9/14/16 public meeting minutes
- MRC Urban Infill and Greenways Subcommittee's 11/14/16 public meeting minutes
- MRC Greenways Subcommittee's 12/19/16 public meeting minutes
- Letter of Intent with exhibits
- Plans (sent 1/2/17 and revised plans emailed 1/7/17)

Shahab Karmely, Kar Properties, Nick Cardozo, Yachtlife, Iris Escarra, Greenberg Traurig, and Renate Paris and Gustavo Berenblum, Berenblum, Busch Architecture, showed a video, provided copies and presented “Yachtlife (charters and sales) Lounge and Restaurant”. Ms. Escarra stated the site is zoned D3 and Land Use is Port Miami River, therefore the water dependent primary use will be “Yachtlife” charters and sales, and a designated slip for a commercial fishing vessel will bring fresh seafood catches which will be kept live in tanks, and then visitors may pick out their seafood and purchase it to take home, or have it cooked and eaten at the restaurant. They are seeking a Warrant to allow a restaurant, featuring a public Riverwalk, as a secondary use, which will be utilized by the “Yachtlife” charters and sales, in addition to the planned office space for “Yachtlife”. Ms. Escarra stated there is no on-site parking as all parking will be valet at the identified nearby vacant lot. Mr. Karmely noted Kar Properties will develop One River Point, which the MRC previously recommended approval of, and noted his commitment and belief in the Miami River District. Ms. Escarra stated the site currently does not have any permitted slips, therefore they will submit an application to allow boat slips. Ms. Escarra provided copies of the site’s history of certificates of use for the site which does not have a strong marine industrial past, and has been vacant for many years. Mr. Karmely and Ms. Escarra noted all 4 previous warrants for accessory uses in D3 zoning were recommended for approval by the MRC, and approved by the City Commission, including but not limited to Riverside Wharf (4 restaurants with commercial fishing element) and River Yacht Club (restaurant with Van Dutch Yacht Club and Sales). Ms Escarra provided copies of the MRC’s adopted strategic plan, the “Miami River Corridor Urban Infill Plan” page 25, within the section regarding the riverfront within East Little Havana, “While predominately a residential neighborhood, East Little Havana’s waterfront is predominately industrial in nature. Anchored on the east by Jose Marti Park, with a small area zoned restricted commercial, the majority of the East Little Havana waterfront is zoned for waterfront industrial use. While this use is appropriate and desirable, an expansion of allowable uses to include limited office and commercial (restaurant or retail) as accessory uses only, maintain the requirement for a primary water-dependent use would serve to enliven the on-road Greenway planned for this portion of South River Drive (exists today) as well as increase the economic viability of the existing waterfront industrial sites.”

Cory Offutt, owner of boatyard and Tow Boat U.S. operator immediately north of the subject site, (151 NW South River Drive) and Tucker Gibbs, Esq, stated opposition to the proposed restaurant and concern that it would pressure the boatyard out of business. Mr. Offutt stated his marine industrial boatyard, located in D3 zoning, and Port Miami River Land Use, operates 24 hours a day, seven days a week, and generates industrial conditions of cranes, noise, lights, etc., which are incompatible with the proposed adjacent restaurant use, and the two uses can’t co-exist in harmony. Mr. Offutt stated his boatyard employees 15 people with an average annual income of \$50,000, and provides 2,000 - 3,000 tows per year from this site, which is their only location. Mr. Offutt stated they have a contract with Miami-Dade County to remove derelict vessels, which are towed to the boatyard, broken into pieces and placed into dumpsters. Tucker Gibbs stated he felt the presented proposal did not maintain a primary marine industrial use as required by code and is therefore inconsistent with the sites “Port Miami River” designation in the City’s Comprehensive Plan.

Ms. Escarra stated they would be providing the “Working River Covenant” as required in the City’s Comprehensive Plan for all new riverfront developments, which would indicate they are aware that the Port of Miami River is a working river subject to 24/7 noise, etc. In addition, the current plans now include a wall and landscaping along the subject property line to provide a physical buffer.

The City of Miami’s Miami 21 Zoning Code Section 3.11, states “b Waterfront Walkways Design Standards 1. Waterfront Walkways shall be designed and constructed within the waterfront standards in accordance with these Waterfront Walkway Design Standards and should remain open to public access during all times, but at a minimum shall remain open to the public between 6 AM and 10 PM. Waterfront Walkways are not required within Transect Zones T3, T4-R, D1, D2 and D3 unless the site is a new Commercial retail, Office or restaurant use.”

Ms. Escarra stated in addition to the Warrant, they are seeking City of Miami’s approval to use existing structures, which are not per the current code. Ms. Escarra stated the proposal is to use the sites existing buildings, and features a public Riverwalk which has a 20 foot unobstructed pathway with the exception of one pinch point at the corner of the smaller existing building which is planned to feature the Yachtlife office, and 2 public side-yard pathways to connect the existing public on-road Miami River Greenway along South River Drive to the public Riverwalk. MRC Greenways subcommittee Chairman Martin and Patty Harris recommended the plans to be revised to pull back the corner of the building to widen the public Riverwalk’s pinch point.

Amanda Smith, City of Miami Planning Department, stated this Warrant application notification was signed today, therefore the City may approve or deny the application no sooner than 30 days from now, followed by a 15 day appeal window.

Bruce Brown and Mark Bailey, Miami River Marine Group and Phil Everingham, Marine Council, stated they are not in favor of the presented proposal because it fails to demonstrate the primary use is marine industrial, and the restaurant as a secondary accessory use, as required by the sites current D3 zoning and Port Miami River designation in the Comprehensive Plan.

MRC Director Bibeau read the following portion of the distributed non-binding Jan 2, 2017 public memo from MRC Urban Infill Chairman Jim Murley and MRC Greenways Subcommittee Chairman Martin:

“Therefore we suggest the MRC recommend approval of the updated warrant proposal with a condition that the site demonstrates continued marine use and public Riverwalk per approved plans and letter of intent.

In addition, we suggest the MRC adopt a 2nd resolution respectfully recommending the City of Miami insert criteria into their Zoning code to assist in future determinations in D3 warrant applications for Marine Industrial as the “primary use” and other uses allowed by Warrant to be measured as the “secondary / accessory use”.

**The MRC adopted a resolution to defer the item (9-2) to a “special” MRC meeting on Jan. 23, 2017, noon, 1407 NW 7 ST.**



### **III. Consider Pending Warrant Application (#2016-0094) to Allow a Restaurant in D3 Zoning Located at 961 - 971 NW 7 ST (Anchor Marine Boatyard)**

One week prior to the MRC's meeting the following backup materials were emailed to the MRC database:

- MRC Greenways Subcommittee's 12/19/16 public meeting minutes
- Letter of Intent
- Plans

The applicant, Mr. Henry Greenberg, Longmore LLC, provided a brief presentation, and provided a letter of intent for a valet parking lot at 1000-1020 & 1030 NW 7 ST.

The MRC Greenways Subcommittee's 12/19/16 public meeting minutes state:

"The distributed November 21 minutes includes the 1<sup>st</sup> time this item was considered by the MRC subcommittee. Copies of "Proposed Warrant for Anchor Marine on behalf of Longmore LLC – 961 NW 7 ST Warrant Application Package for Proposed Restaurant Use June 13, 2016" and the projects Oct. 19, 2016 Letter of Intent were distributed. The item was presented by architect Omar Morales, Form Group and Henry Greenberg, Long More LLC. The proposal is an "adaptive re-use" of Anchor Marine Boatyard, with the existing 7,509 square foot building and adjacent outdoor riverfront area becoming a 200 seat restaurant, and the 3,696 square foot building's 1<sup>st</sup> floor is "marine storage" and the 2<sup>nd</sup> floor is a "marine charter office" where a vessel charter service will be operated. The site will retain its existing boat slips and they are interested in becoming a water taxi stop.

The plans include 8 new parking spots reserved for the restaurant on City of Miami owned 971 NW 7 ST, folio #01-3135-000-0020, and adjacent City of Miami owned Right of Way, which includes 25 feet of unimproved riverfront shoreline. Mr. Cook stated the City's zoning code allows the City to consider waiving the parking requirements because the project is an "adaptive re-use". Mr. John Michael Cornell, representing the adjacent 555 SW South River Drive, noted their site is currently zoned T6-8-O and in the future wants to have vehicular access through a portion of the City Right of Way located between Anchor Marine's Private Parcel at 961 NW 7 ST and 555 NW South River Drive. Mr. Greenberg stated he is negotiating with a potential valet parking lot in the area that would provide 150 parking spaces, and they would provide more details in writing.

Mr. Mark Burns, City of Miami Asset Management, stated the sites current 30 day revocable license agreement issued in 1999 for the previous owners of the current "Anchor Marine" boatyard use (currently has boats, etc.) will have to be updated. The current 30 day license agreement offers the opportunity for one free covered boat slip for use by a City Marine Patrol vessel. Mr. Greenberg stated they still agree to offer this condition, and MRC Director Bibeau stated he recently communicated with the City of Miami Police Department whom indicated the Marine Patrol would be interested in using the free covered boat slip required under the 30-day license agreement.

Director Bibeau stated the 25 feet of City owned riverfront adjacent to the private parcel has large invasive Brazilian Peppers, and other issues, and this City owned portion of the riverfront could become a section of the public Riverwalk per the City's adopted Comprehensive Plan, the Miami River Greenway Action Plan and Zoning Code (section 3.11). Currently the existing City owned mesa beige on-road Miami River Greenway enters the subject site from west to east along the riverside of NW 7 ST, and the public pathway could be extended to include this riverfront City owned public right of way immediately south east of the private parcel at 961 NW 7 ST, and then tie back into the existing on-road Miami River Greenway which continues south east along NW South River Drive. Director Bibeau noted if approved, the proposed development would have to pay impact and permit fees to the City of Miami, and perhaps that could be the source of the funding for the needed improvements to this riverfront section of City owned public right of way.

Dr Ernie Martin stated he is President of the Spring Garden Civic Association which is a low-density designated historic residential neighborhood located directly across the Miami River from the subject site which currently operating Anchor Marine boatyard. Dr Martin asked about the noise restrictions from the proposed new restaurant at night, and Mr. Cook, City of Miami Planning Department, replied they would be required to abide by the City's current noise restrictions as established in the City Code. Mr. Greenberg stated the proposal is for a fine dining restaurant, not a night club.

Mark Bailey, Miami River Marine Group, Philip Everingham, Marine Council and Cory Offut, Biscayne Towing and Salvage, noted Anchor Marine boatyard opened 43 years ago and remains in operation today on this site, and is a good example of a long time functioning boatyard use which should be maintained along the Miami River. Mark Bailey, Miami River Marine Group, and Phil Everingham, Marine Council, stated they are not in favor of the presented proposal because it fails to demonstrate the primary use is marine industrial (restaurant secondary accessory use) as required by the sites current D3 zoning and Port Miami River designation in the Comprehensive Plan. Derrick Cook, City of Miami Planning Department, stated the City Zoning Code requires a marine industrial / water dependent use on riverfront sites zoned the more restrictive D3 Marine Industrial category with "Port Miami River" designation in the City's Comprehensive Plan, but there are no specific criteria to determine "primary use" versus "secondary / accessory use".

Mr. Greenberg and Mr. Morales agreed to provide an updated Letter of Intent with more information about the sites proposed marine industrial uses such as the "marine storage" and "marine charter office" noted in the plans within the 3,696 square foot building, including the free covered boat slip for a City of Miami marine patrol vessel, valet parking lot location, and amend the plans to show vehicular circulation for the valet and perhaps an extension of the public Miami River Greenway in partnership with the City of Miami on the adjacent City owned property."

MRC Director Bibeau read aloud the following portion of the MRC Greenways subcommittee's 12/19/16 public meeting minutes:

MRC Urban Infill Subcommittee Chairman Martin did not recommend approval or denial of the subject Warrant applicant, rather expressed the following issues to be considered and addressed by the MRC, City and applicants:

- 1) Need to include public Riverwalk on adjacent City owned riverfront connecting on both ends to the City's existing adjacent on-road Miami River Greenways along NW 7 ST and NW South River Drive
- 2) Need to identify secured valet parking lot with sufficient parking spaces for the proposed 200 seat restaurant and revise plans to show valet drop off and pickup circulation
- 3) Need to clarify area of City owned folio and public Right of Way, and update 30 day revocable license agreement to continue providing free slip for City Marine Patrol and allowing potential future vehicular access for adjacent 555 NW North River Drive and public connecting Miami River Greenway. Is there a public process?
- 4) Concern about erosion of the marine industry as the proposal would displace Anchor Marine boatyard in operation on this "Middle River" site for 43 years
- 5) Sound mitigation for adjacent residents

Director Bibeau stated the City of Miami's warrant application notification was signed over 30 days ago, therefore the City has the right to approve or deny the application at any time.

**The MRC adopted a unanimous resolution to defer the item to a "special" MRC meeting on Jan. 23, 2017, noon, 1407 NW 7 ST.**

#### **IV. Consider Revised Public Riverwalk Plans at 40 NW North River Drive**

Ms. Iris Escarra, Greenberg Traurig and Mr Nino Griego, Itec Design, presented the revised Riverwalk plans for Sushi Samba. They stated the Riverwalk plans are now consistent with City Code requirements, and the minimum width of the unobstructed Riverwalk is the same or greater than previously approved by the MRC.

**The MRC adopted a unanimous resolution recommending approval of the revised Sushi Samba Riverwalk, and thanked the City of Miami and Melo Family (developers), Ms Escarra and Mr Griego for the improved Riverwalk design.**

#### **V. Update Regarding Appeal of Zoning Interpretation on Miami 21's Waterfront Standards, Section 3.11**

MRC Director Bibeau stated the MRC hasn't received the City of Miami Zoning Administrator's revised draft Zoning Interpretation, therefore the item was deferred to the MRC's "special" meeting on Jan. 23, 2017, noon, 1407 NW 7 ST.

The meeting adjourned.

**Miami River Commission  
 Public Meeting**

Monday, January 9, 2017  
 Noon  
 1407 NW 7 ST  
 Miami, FL

<u>NAME</u>	<u>ORGANIZATION</u>	<u>PHONE / FAX / E-MAIL</u>
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Richarda Brown	City of Miami	954-881-8135
Thomas Conway	125-131 NW 5 River	rcbrown@miamigo.com
Mark Burns	City of Miami	786-218-2757 305-416-1471
PERCEDES ESCARTE	ITEC DESIGN	305-673-2121
ARTURO Galego	IRE DESIGN	305-673-2121
Robert Weinreb	City of Miami,	305 416-1209
Luiz Vicentini	PLANNING DEPT	304 416-1908
Amanda Smith	City of Miami Planning	305-416-1433
L. Balgore	self	786-567-8067 mobile
Michael Roman	City of Miami / Live Healthy Little Havana	305-416-1618
Fran Bolsack	USDOT / Maritime Administration	786-837-4382
William Fitch	Forward Miami	305-582-7288 wmfitch@me.com
Troy Tylon	RIVERFRONT MASTER ASSOCIATION	770 312 8422
NICHOLAS CARDOZA	YACHTLIFE INC TECHNOLOGIES	305-458-7753
ANDY PENEV	KAR PROPERTIES	212-683-3090
RENATE PARIS	BBA	571 393 4828
Brian Dombrowski	GT	305 577 0630
Iris Escarta	GT	305 577 0737
GUSTAVO Berenblu	BBA	305-200-5257

**Miami River Commission  
 Public Meeting**

Monday, January 9, 2017  
 Noon  
 1407 NW 7 ST  
 Miami, FL

<u>NAME</u>	<u>ORGANIZATION</u>	<u>PHONE / FAX / E-MAIL</u>
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Carlos A. Saeoz	Soft Caribbean	InterShip2002@BellSouth
Mark Bailey Amigade Vilabo	Miami River Main Group SFUMD	markbailey@miamirivermain.net group
HENRY Greenberg	Longmore LLC	917.960.7075
Derrick Cook	City of Miami Planning & Zoning Dept	305.416.1466 Dcook@miamigov.com
TEARYL ZERBT	Terminal 555	tzerby@zerbyinvest.com
JOHN M. CORNEU	T555/HC	(580)214-1475
Garrett Browning	HC	(580)-445-4262
Cory OFFUTT	Biscayne Tower	305-358-148 / Toffutt@adi.com
Tucker Gibbs	Rep. Biscayne Tower	305-448-8980 / tucker@tugibbs.com
Fran K Alvarado	The Real Deal reporter	786 253 2668 / falvarado@gmail.com
Orin Blas	5TH STREET MARINA	305-524-2040 / ORIN@5THSTMARINA.COM
DUBER L. LUZARDO ERNEST MARTIN	ANTILLEAN MARINE SHIPPING MRC	305-495-5016 / DLUZARDO@ANTILLEAN.COM 305-325-8730 / ernestmartin@connet.net
Marlene Avalo-Gonzalez	MIAMI DADE COUNTY	(305)643-8525 avalo@miamidade.gov

**Miami River Commission  
Public Meeting**

Monday, January 9, 2017  
Noon  
1407 NW 7 ST  
Miami, FL

<u>NAME</u>	<u>ORGANIZATION</u>	<u>PHONE / FAX / E-MAIL</u>
Sandy O'Neil	GmCC	(305) 713-4535
Manny Prieguez	MRC	305 (345-9070)
Frank Balzebre	Magna Community	Office: 305-986-172
GARY WIDSON	SAU	305-547-0434
Horacio Stuart Aguirre	MRC	Horacio@hsaguirre.com
PHIL EVERINGHAM	NCC/MARINE COUNCIL	305 951-9096; pbeemsdd@hotmail.com
BRUCE BROWN	MRC	305/288-6411 bruce102@bellsouth.net
Lourdes Barrelli	DERM/MDC	305-372-6595 barrell@miamicadegua
Fabian De La Espriella	Miami DDA	DeLaEspriella@miamidda.com
PATRICIA A. HARRIS	MRC	PATTY KAK@GMAIL.COM
Brenda M Betancourt	Resident	(786) 523-1310

# RIVER COMMISSION - 12/29/16

## SUSHI SAMBA RIVER RESTAURANT



**SUSHI SAMBA**  
RIVER RESTAURANT

MIAMI RIVER COMMISSION

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12-29-16

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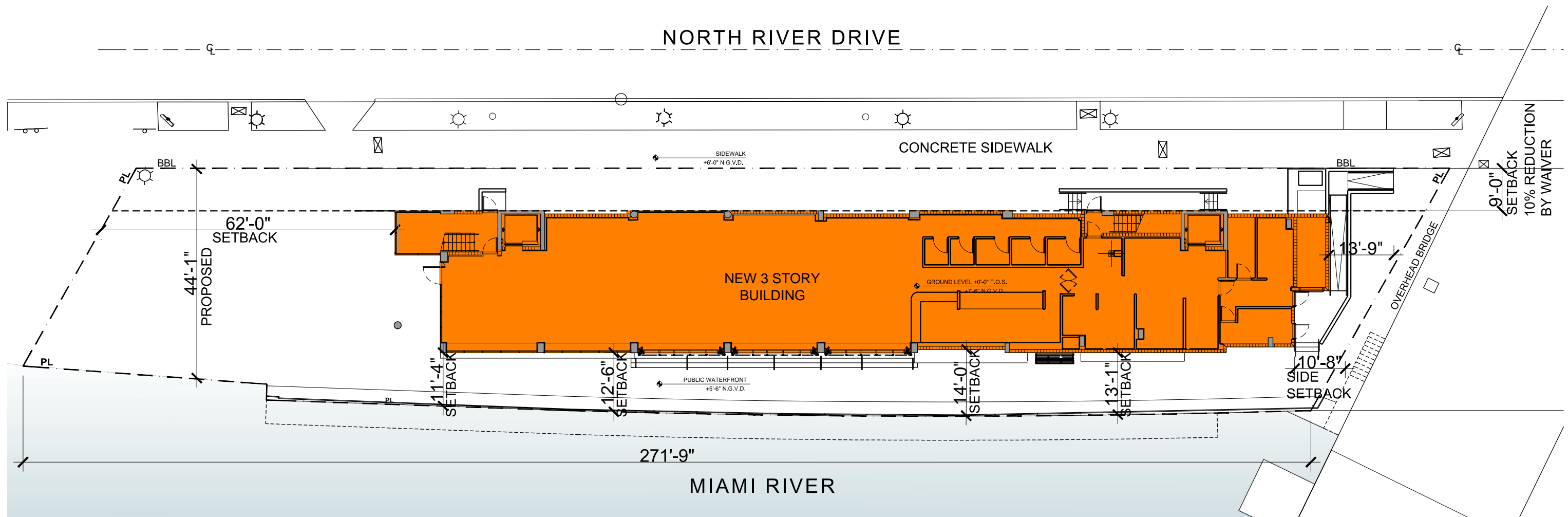
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# ZONING INFORMATION AND WATERFRONT STANDARDS

# A-1

SITE ZONING T6-8-O		
WATERFRONT STANDARDS:		
	REQUIRED	PROPOSED
WATERFRONT SETBACKS AS PER ARTICLE 3.11	WATER FRONT  25% LOT DEPTH (FOR LOTS LESS THAN 200 FEET)  MAX LOT DEPTH 51.09' SETBACK = 12'-6" MIN LOT DEPTH 45.54' SETBACK = 11'-4"	MAX LOT DEPTH 51.09' SETBACK = 12'-6"-14'-0"  MIN LOT DEPTH 45.54' SETBACK = 11'-4"
	SIDE  SUM OF SIDES 25% OF WATERFRONT 25% x 271'-9" = 68' MIN (EQUAL IN AGGREGATE TO AT LEAST 25% OF THE WATER FRONTAGE OF EACH LOT BASED ON AVERAGE LOT WIDTH TO ALLOW VIEW CORRIDORS OPEN FROM GROUND TO SKY AND TO ALLOW PUBLIC ACCESS TO WATERFRONT)	10'-8" + 62'-0" = 72'-8"



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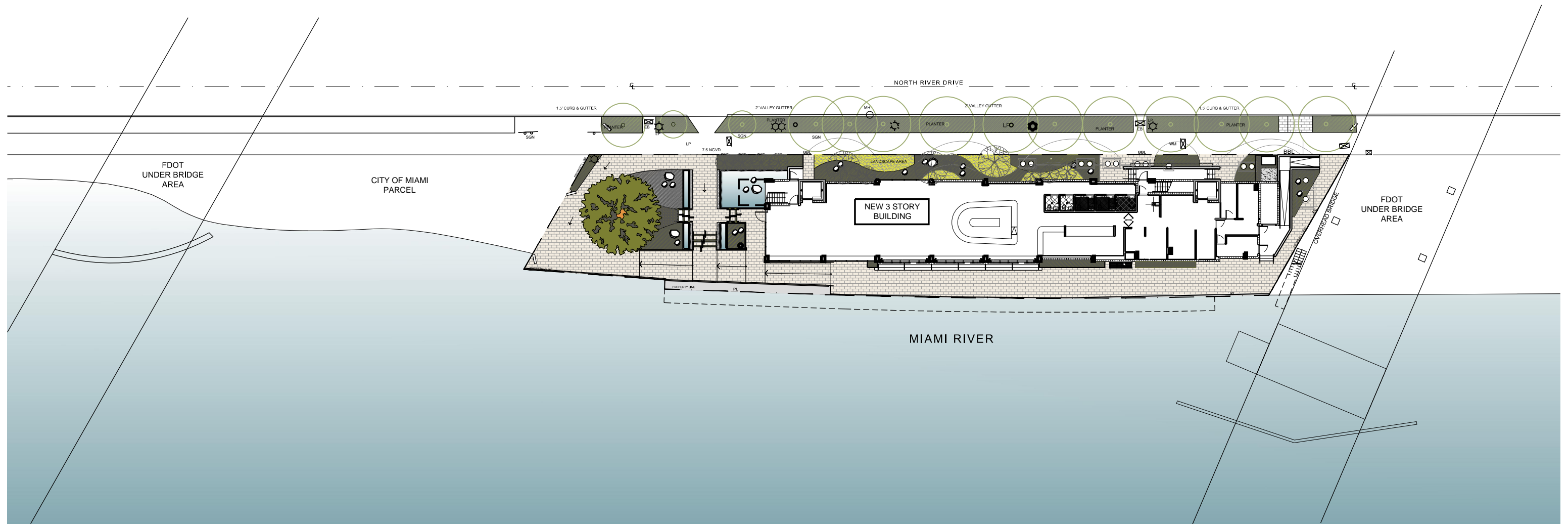
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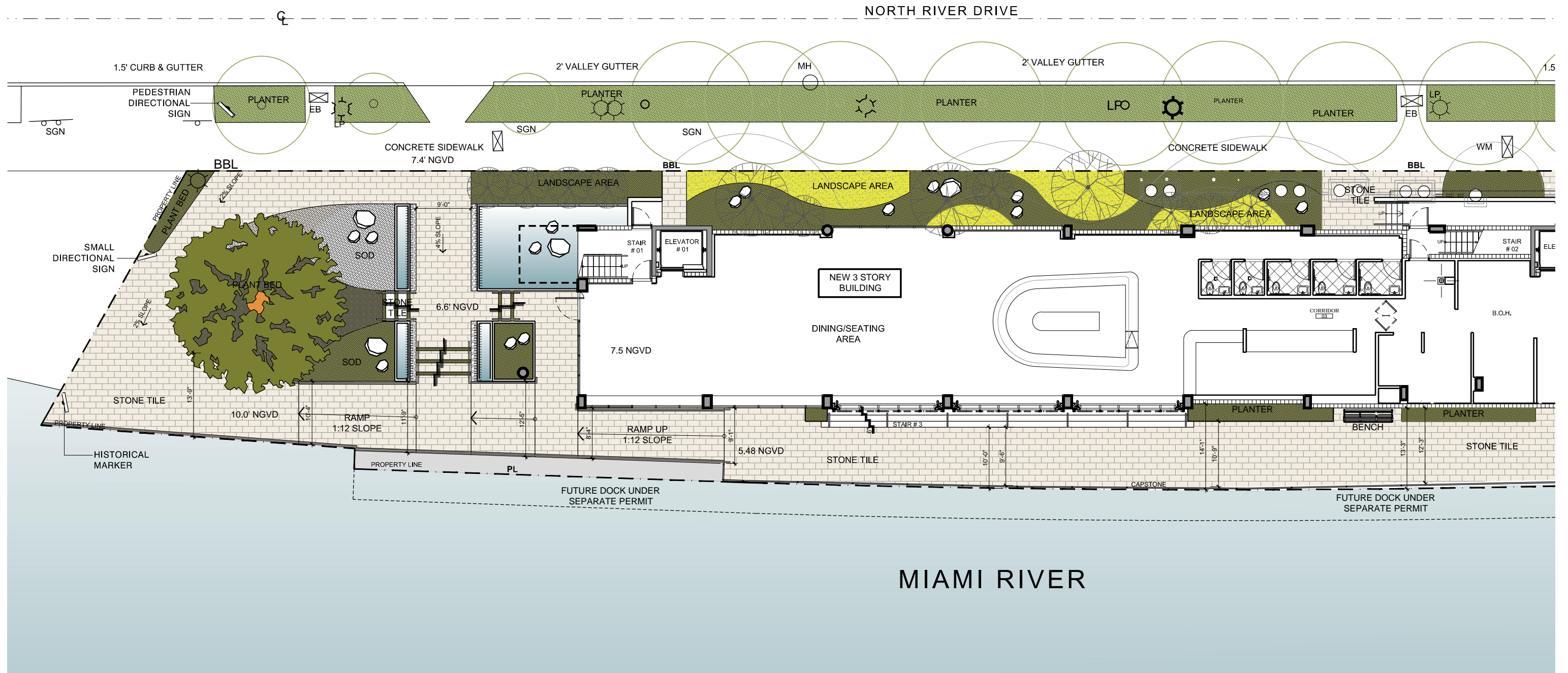
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# RIVERWALK - RAMP OPTION - GROUND LEVEL FLOOR PLAN

# A-3



**SUSHI SAMBA**  
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MIAMI RIVER COMMISSION

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12-29-16

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# TREE GARDEN - ENLARGED ELEVATION DETAIL

# A-4



**SUSHI SAMBA**  
RIVER RESTAURANT

MIAMI RIVER COMMISSION

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12-29-16

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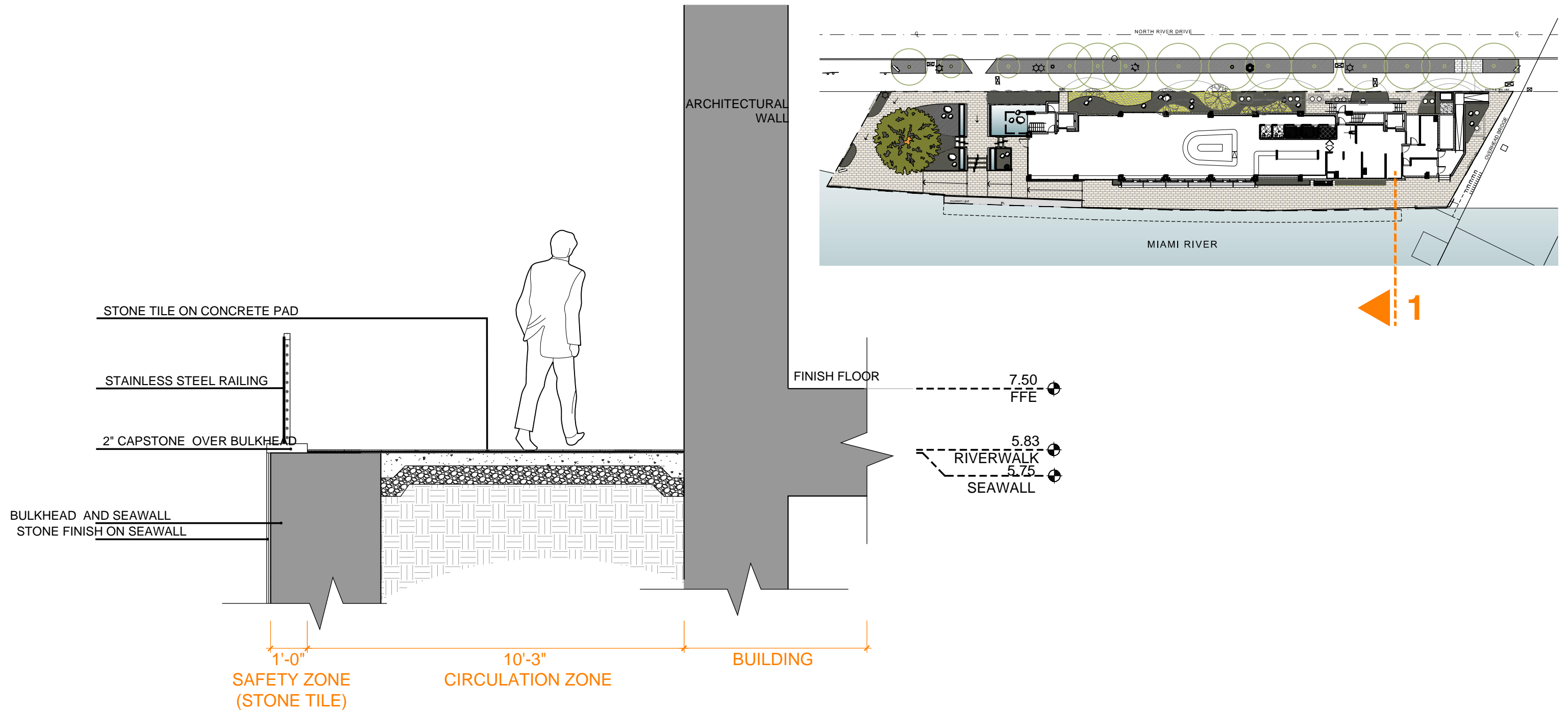
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# RIVER WALK - SECTION 1 - CIRCULATION AT RIVERWALK

# A-5



**SUSHI SAMBA**  
RIVER RESTAURANT

MIAMI RIVER COMMISSION

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12-29-16

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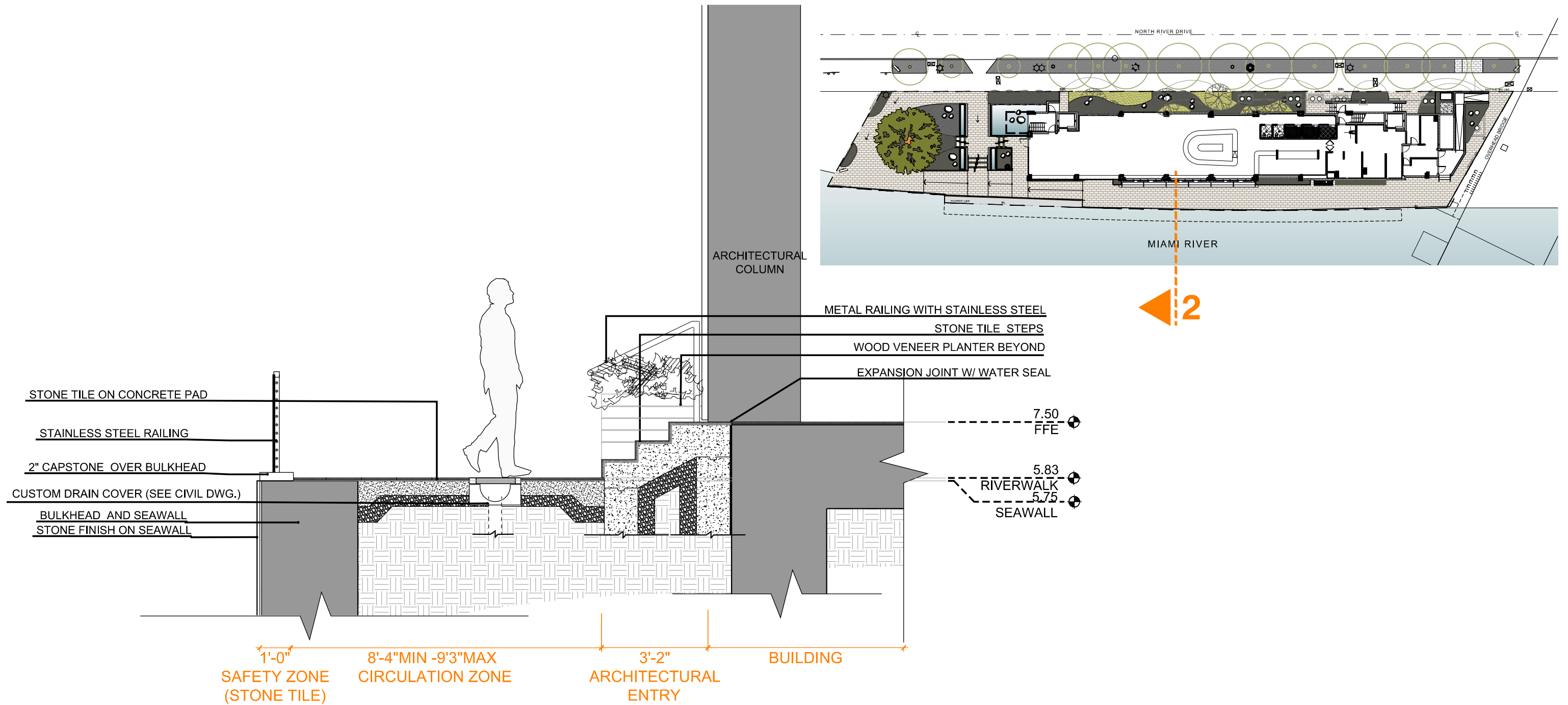
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227 West 29th Street  
13th Floor | New York, NY 10001  
t (212) 929 2995  
f (646) 861 3910

LANDSCAPE:  
**ENE GARDEN DESIGN INC.**  
7580 NE 4th Court  
Suite 105 | Miami, FL 33138  
t (305) 576-6702  
f (305) 576-6703

# RIVER WALK - SECTION 2 - CIRCULATION AT STAIRS

# A-6



**SUSHI SAMBA**  
RIVER RESTAURANT

MIAMI RIVER COMMISSION

DATE:  
12-29-16

OWNER:  
**Melo**  
250 NE 25th Street Suite #201  
Miami, FL 33137  
t (305) 438-1290  
e meloarchitecture@gmail.com

TENANT:  
**SAMBA BRANDS MANAGEMENT**  
17 EAST 16TH STREET,  
2ND FLOOR |  
NEW YORK, NY 10003  
t 212-604-0600

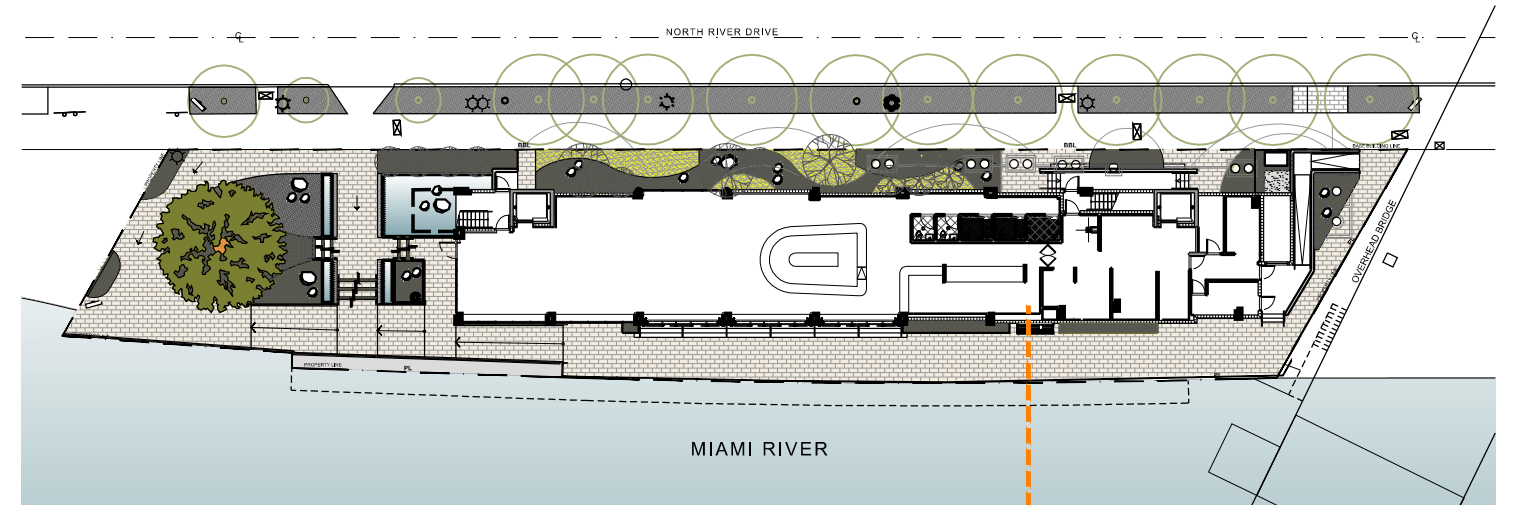
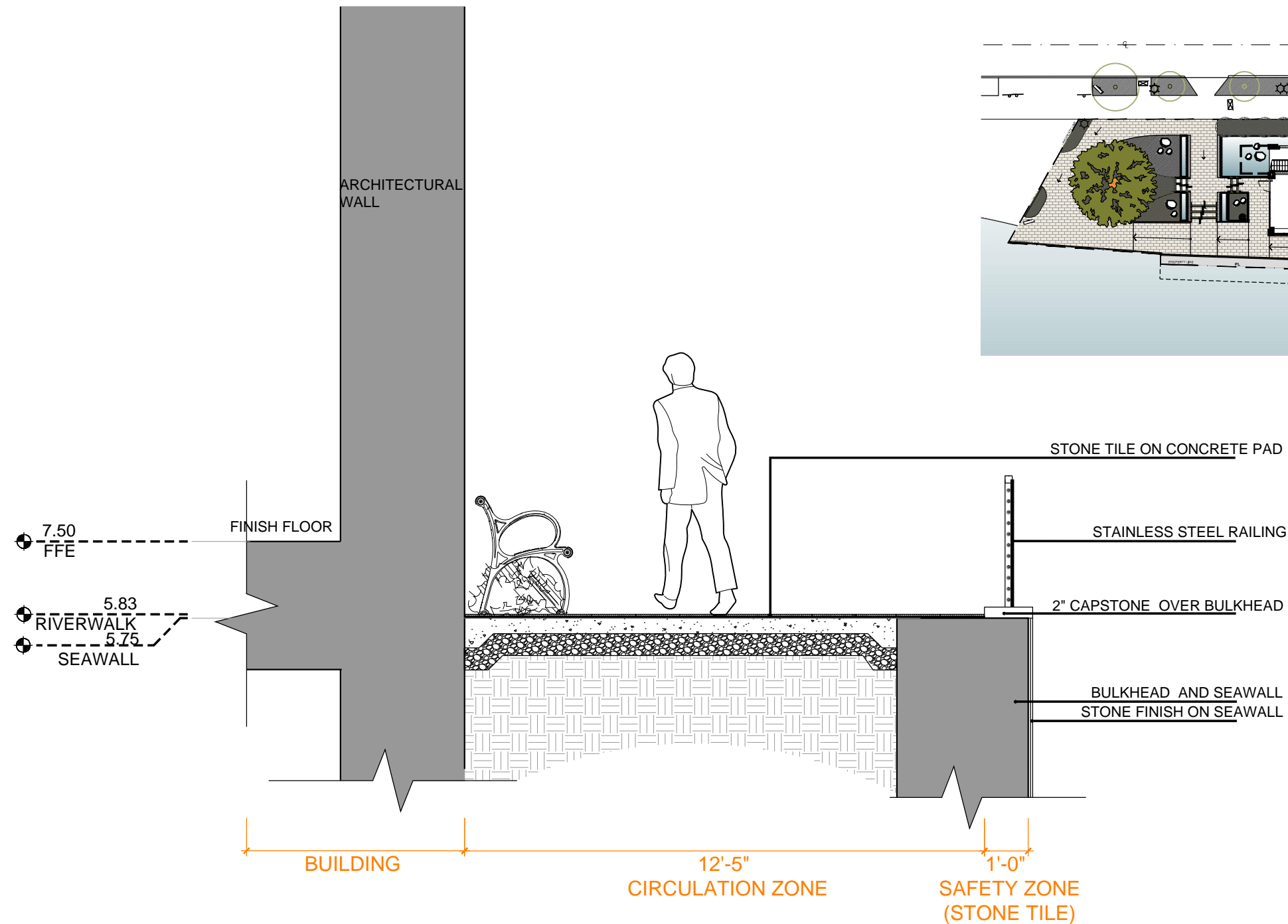
ARCHITECT:  
**itecdesign**  
Orion Jet Center  
14850 NW 44th Ct.  
Ste 202  
Miami, FL 33054  
t (305) 673-2121  
f (305) 673-4640  
www.itecdesign.net

INTERIOR DESIGNER:  
**MARTIN BRUDNIZKI DESIGN STUDIO**  
227 West 29th Street  
13th Floor | New York, NY 10001  
t (212) 929 2995  
f (646) 861 3910

LANDSCAPE:  
**ENE GARDEN DESIGN INC.**  
7580 NE 4th Court  
Suite 105 | Miami, FL 33138  
t (305) 576-6702  
f (305) 576-6703

# RIVER WALK - SECTION 3 - CIRCULATION AT BENCH

# A-7



**SUSHI SAMBA**  
RIVER RESTAURANT

MIAMI RIVER COMMISSION

DATE:  
12-29-16

OWNER:  
**Melo**  
250 NE 25th Street Suite #201  
Miami, FL 33137  
t: (305) 438-1290  
e: meloarchitecture@gmail.com

TENANT:  
**SAMBA BRANDS MANAGEMENT**  
17 EAST 16TH STREET,  
2ND FLOOR |  
NEW YORK, NY 10003  
t: 212-604-0600

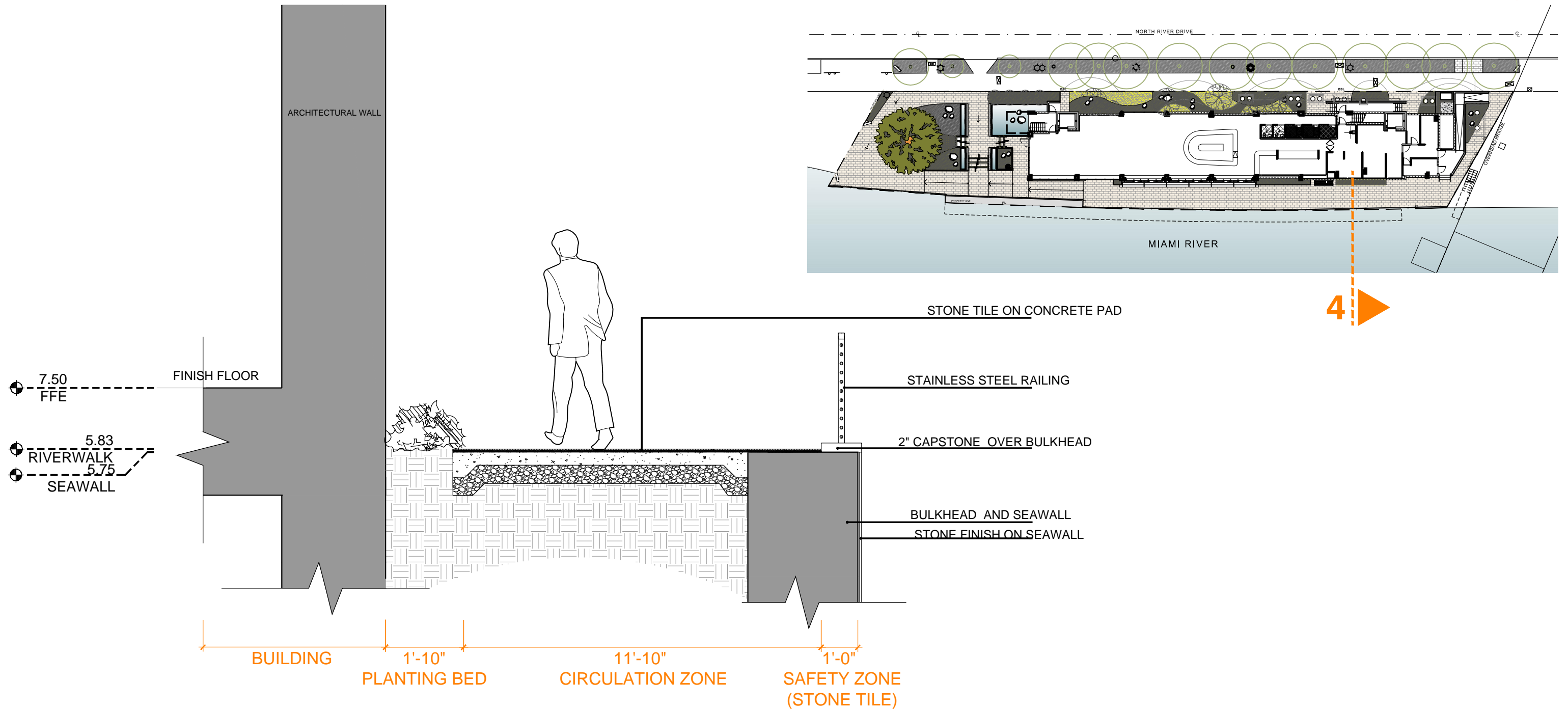
ARCHITECT:  
**itecdesign**  
Orion Jet Center  
14850 NW 44th Ct.  
Ste 202  
Miami, FL 33054  
t: (305) 673-2121  
f: (305) 673-4640  
www.itecdesign.net

INTERIOR DESIGNER:  
**MARTIN BRUDNIZKI DESIGN STUDIO**  
227 West 29th Street  
13th Floor | New York, NY 10001  
t: (212) 929 2995  
f: (646) 861 3910

LANDSCAPE:  
**ENE GARDEN DESIGN INC.**  
7580 NE 4th Court  
Suite 105 | Miami, FL 33138  
t: (305) 576-6702  
f: (305) 576-6703

# RIVER WALK - SECTION 4 - CIRCULATION AT PLANTER

# A-8



**SUSHI SAMBA**  
RIVER RESTAURANT

MIAMI RIVER COMMISSION

DATE:  
12-29-16

OWNER:  
**Melo**  
250 NE 25th Street Suite #201  
Miami, FL 33137  
t: (305) 438-1290  
e: meloarchitecture@gmail.com

TENANT:  
**SAMBA BRANDS MANAGEMENT**  
17 EAST 16TH STREET,  
2ND FLOOR |  
NEW YORK, NY 10003  
t: 212-604-0600

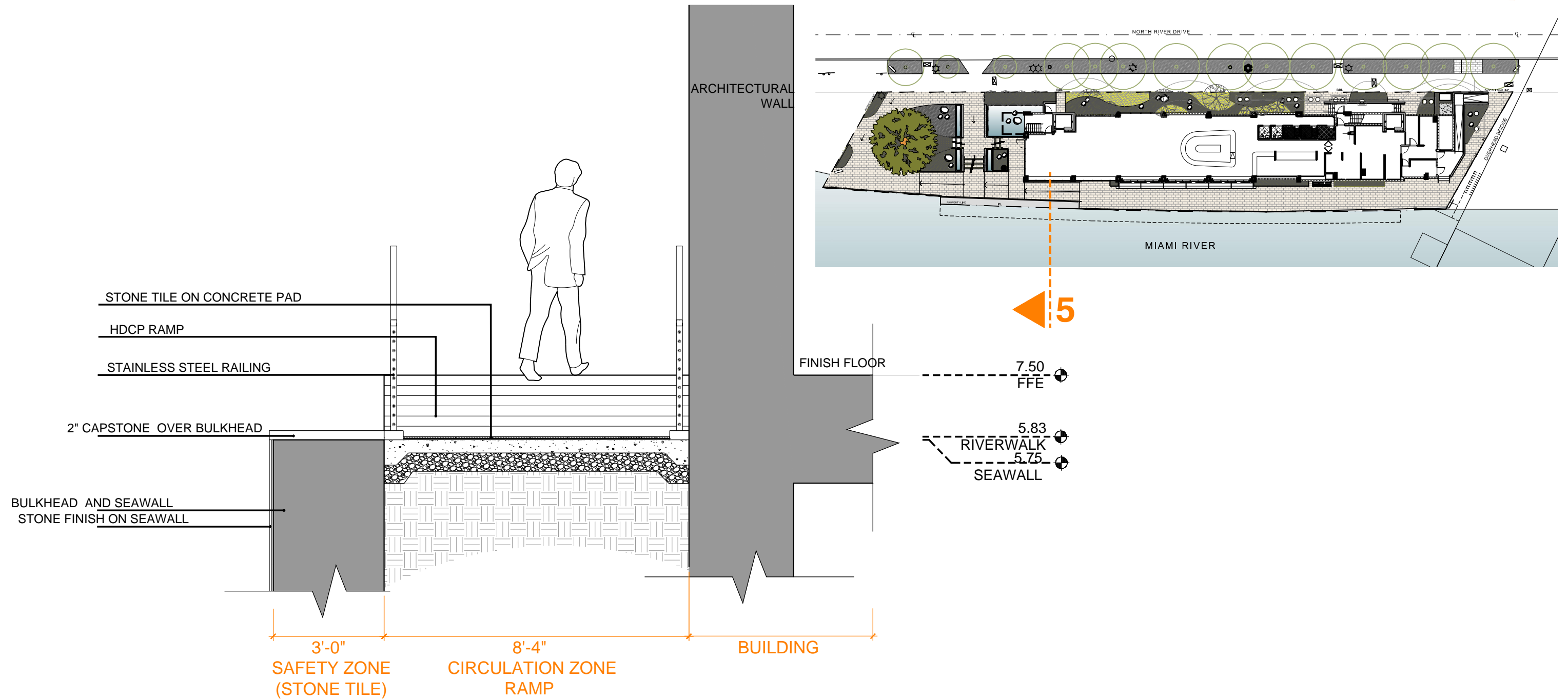
ARCHITECT:  
**itecdesign**  
Orion Jet Center  
14850 NW 44th Ct.  
Ste 202  
Miami, FL 33054  
t: (305) 673-2121  
f: (305) 673-4640  
www.itecdesign.net

INTERIOR DESIGNER:  
**MARTIN BRUDNIZKI DESIGN STUDIO**  
227 West 29th Street  
13th Floor | New York, NY 10001  
t: (212) 929 2995  
f: (646) 861 3910

LANDSCAPE:  
**ENEA GARDEN DESIGN INC.**  
7580 NE 4th Court  
Suite 105 | Miami, FL 33138  
t: (305) 576-6702  
f: (305) 576-6703

# RIVER WALK - SECTION 5 - CIRCULATION AT RAMP

# A-9



**SUSHI SAMBA**  
RIVER RESTAURANT

MIAMI RIVER COMMISSION

DATE:  
12-29-16

OWNER:  
**Melo**  
250 NE 25th Street Suite #201  
Miami, FL 33137  
t (305) 438-1290  
e meloarchitecture@gmail.com

TENANT:  
**SAMBA BRANDS MANAGEMENT**  
17 EAST 16TH STREET,  
2ND FLOOR |  
NEW YORK, NY 10003  
t 212-604-0600

ARCHITECT:  
**itecdesign**  
Orion Jet Center  
14850 NW 44th Ct.  
Ste 202  
Miami, FL 33054  
t (305) 673-2121  
f (305) 673-4640  
www.itecdesign.net

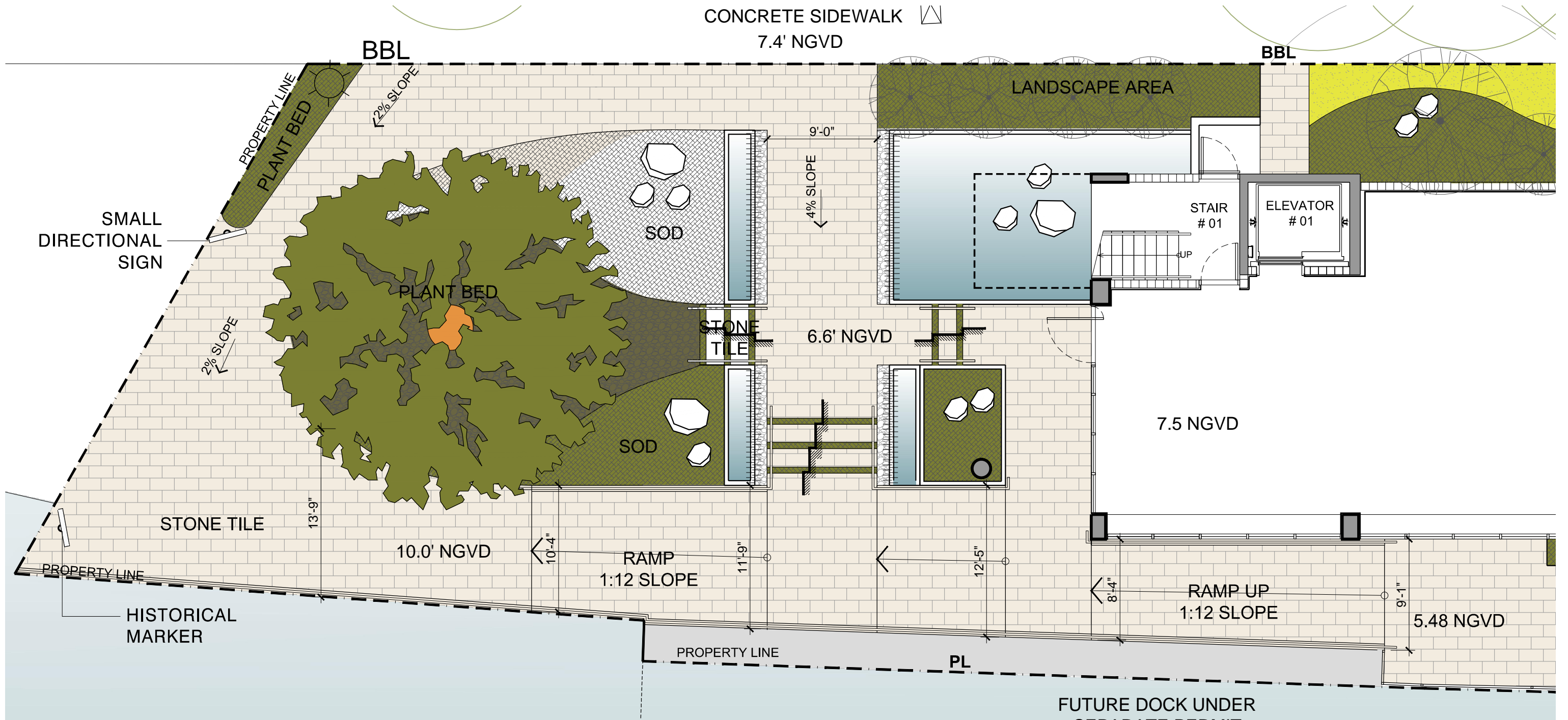
INTERIOR DESIGNER:  
**MARTIN BRUDNIZKI DESIGN STUDIO**  
227 West 29th Street  
13th Floor | New York, NY 10001  
t (212) 929 2995  
f (646) 861 3910

LANDSCAPE:  
**ENE GARDEN DESIGN INC.**  
7580 NE 4th Court  
Suite 105 | Miami, FL 33138  
t (305) 576-6702  
f (305) 576-6703



# RIVERWALK - RAMP OPTION - ENLARGED FLOOR PLAN AT TREE

# A-10



**SUSHI SAMBA**  
RIVER RESTAURANT

MIAMI RIVER COMMISSION

DATE:  
12-29-16

OWNER:  
**Melo**  
250 NE 25th Street Suite #201  
Miami, FL 33137  
t (305) 438-1290  
e meloarchitecture@gmail.com

TENANT:  
**SAMBA BRANDS MANAGEMENT**  
17 EAST 16TH STREET,  
2ND FLOOR |  
NEW YORK, NY 10003  
t 212-604-0600

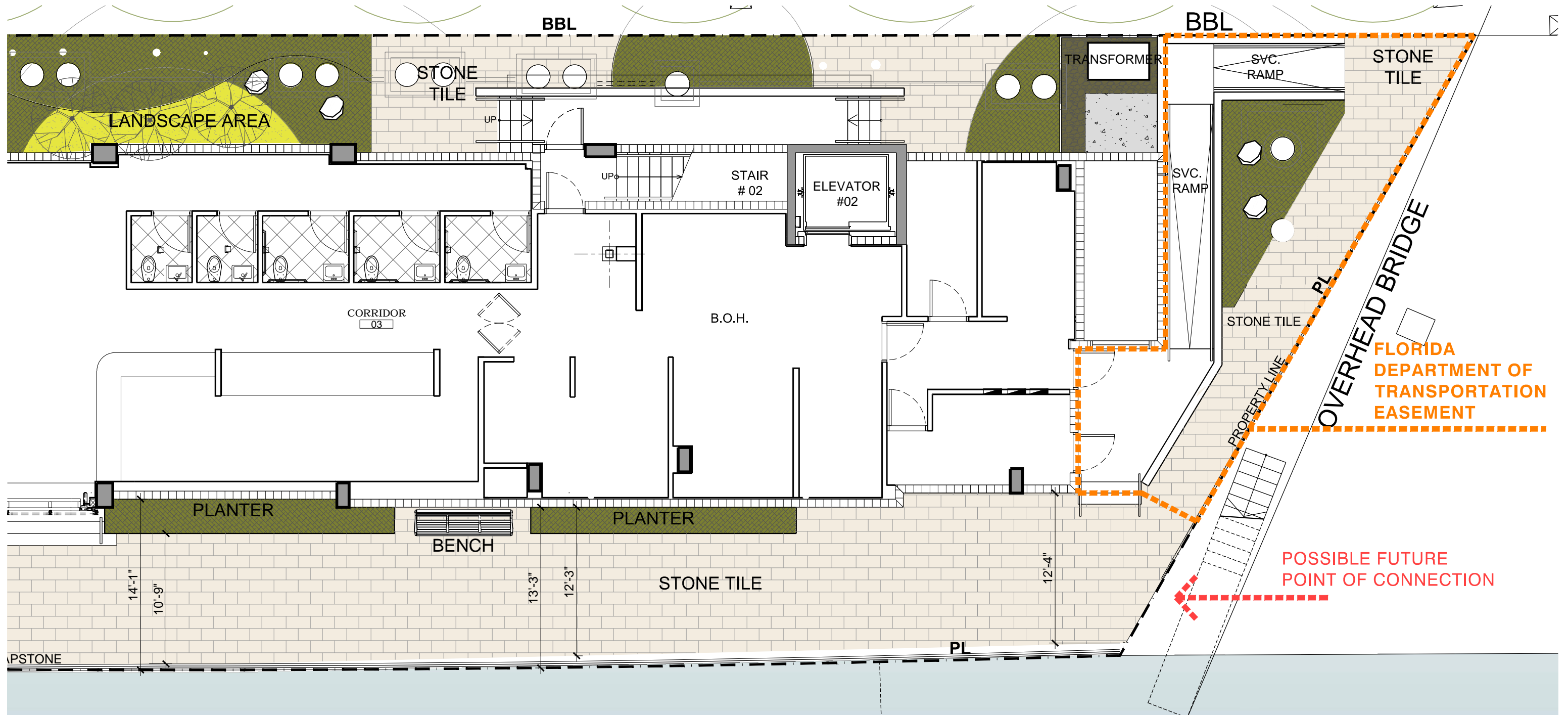
ARCHITECT:  
**itecdesign**  
Orion Jet Center  
14850 NW 44th Ct.  
Ste 202  
Miami, FL 33054  
t (305) 673-2121  
f (305) 673-4640  
www.itecdesign.net

INTERIOR DESIGNER:  
**MARTIN BRUDNIZKI DESIGN STUDIO**  
227 West 29th Street  
13th Floor | New York, NY 10001  
t (212) 929 2995  
f (646) 861 3910

LANDSCAPE:  
**ENE GARDEN DESIGN INC.**  
7580 NE 4th Court  
Suite 105 | Miami, FL 33138  
t (305) 576-6702  
f (305) 576-6703

# RIVERWALK - ENLARGED FLOOR PLAN AT BOH - FDOT EASEMENT

# A-11



**SUSHI SAMBA**  
RIVER RESTAURANT

MIAMI RIVER COMMISSION

DATE:  
12-29-16

OWNER:  
**Melo**  
250 NE 25th Street Suite #201  
Miami, FL 33137  
t (305) 438-1290  
e meloarchitecture@gmail.com

TENANT:  
**SAMBA BRANDS MANAGEMENT**  
17 EAST 16TH STREET,  
2ND FLOOR |  
NEW YORK, NY 10003  
t 212-604-0600

ARCHITECT:  
**itecdesign**  
Orion Jet Center  
14850 NW 44th Ct.  
Ste 202  
Miami, FL 33054  
t (305) 673-2121  
f (305) 673-4640  
www.itecdesign.net

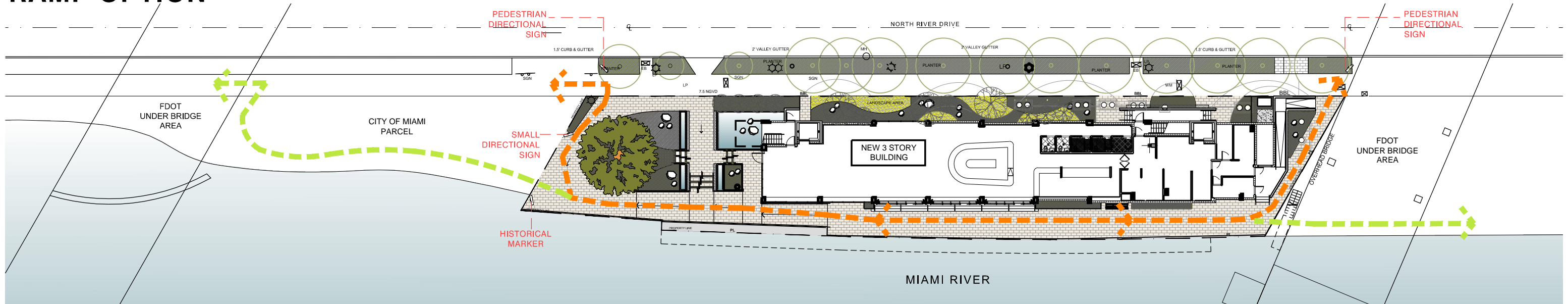
INTERIOR DESIGNER:  
**MARTIN BRUDNIZKI DESIGN STUDIO**  
227 West 29th Street  
13th Floor | New York, NY 10001  
t (212) 929 2995  
f (646) 861 3910

LANDSCAPE:  
**ENE GARDEN DESIGN INC.**  
7580 NE 4th Court  
Suite 105 | Miami, FL 33138  
t (305) 576-6702  
f (305) 576-6703

# SITE PLAN - PATH OF CIRCULATION AND FUTURE CONNECTION

# A-12

## RAMP OPTION



TYPICAL SIGN TYPES	TYPICAL BENCH	TYPICAL LIGHT	PATH OF CIRCULATION REFERENCES
<p>Section 3: All sign types are allowed.</p> <p>Sections 1, 2 &amp; 4: Only these two sign types are allowed.</p> <p>Small Directional    Historical Marker    Pedestrian Directional    Kiosk    Mile Marker</p>			<ul style="list-style-type: none"> <li><span style="color: orange;">-----</span> HDCP / RUNNER AND PEDESTRIAN PATH OF CIRCULATION</li> <li><span style="color: green;">-----</span> FUTURE CONNECTION WITH CITY OF MIAMI PARCEL</li> <li><span style="color: red;">-----</span> LOCATION OF RIVERWALK SIGNAGE. SIGNAGE AS PER RIVERWALK STANDARDS SEE IMAGES FOR REFERENCE.</li> </ul>



**SUSHI SAMBA**  
RIVER RESTAURANT

MIAMI RIVER COMMISSION

DATE:  
12-29-16

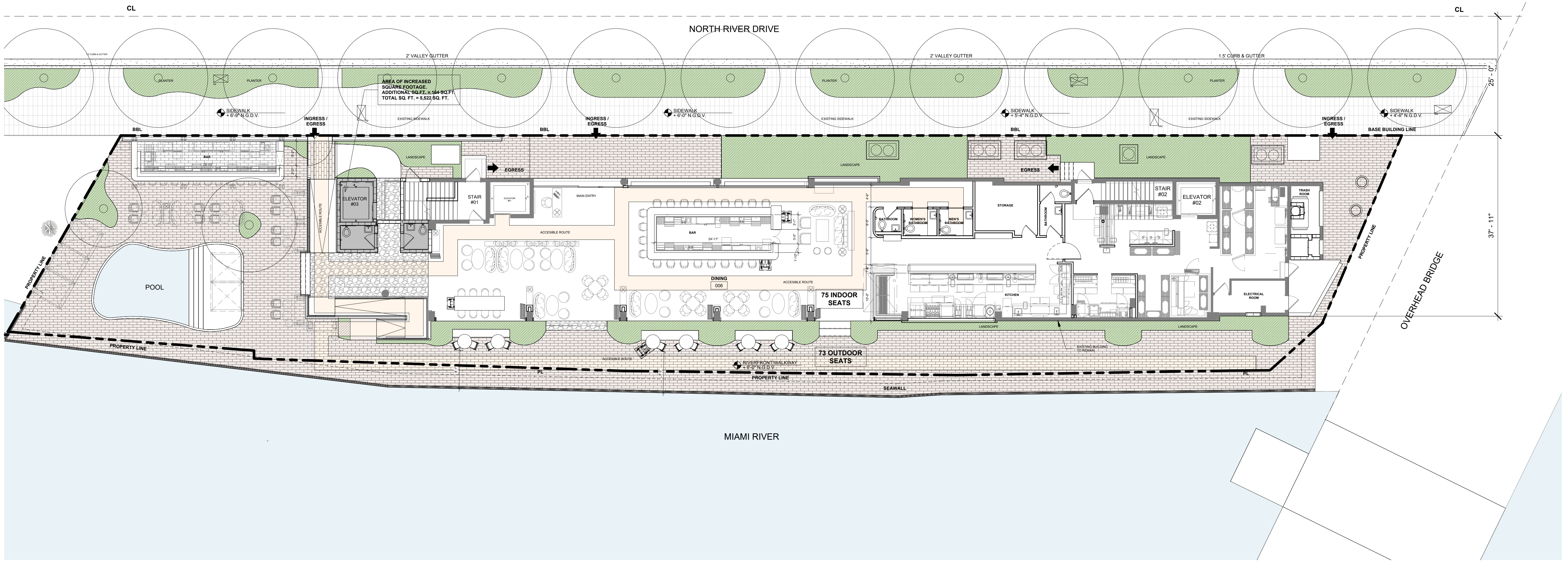
OWNER:  
**Melo**  
250 NE 25th Street Suite #201  
Miami, FL 33137  
t (305) 438-1290  
e meloarchitecture@gmail.com

TENANT:  
**SAMBA BRANDS MANAGEMENT**  
17 EAST 16TH STREET,  
2ND FLOOR |  
NEW YORK, NY 10003  
t 212-604-0600

ARCHITECT:  
**itecdesign**  
Orion Jet Center  
14850 NW 44th Ct.  
Ste 202  
Miami, FL 33054  
t (305) 673-2121  
f (305) 673-4840  
www.itecdesign.net

INTERIOR DESIGNER:  
**MARTIN BRUDNIZKI DESIGN STUDIO**  
227 West 29th Street  
13th Floor | New York, NY 10001  
t (212) 929 2995  
f (646) 861 3910

LANDSCAPE:  
**ENEA GARDEN DESIGN INC.**  
7580 NE 4th Court  
Suite 105 | Miami, FL 33138  
t (305) 576-6702  
f (305) 576-6703



PROJECT, ADDRESS AND OWNER:

**CASA NEOS**

40 SW NORTH RIVER DR | MIAMI FLORIDA 33130

OWNER:

MILA GROUP

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEERS

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	///
Fire Prev	///
Planning	///
Zoning	///
Building	///
Structural	///
Electrical	///
Plumbing	///
Mech	///
S. Waste	///

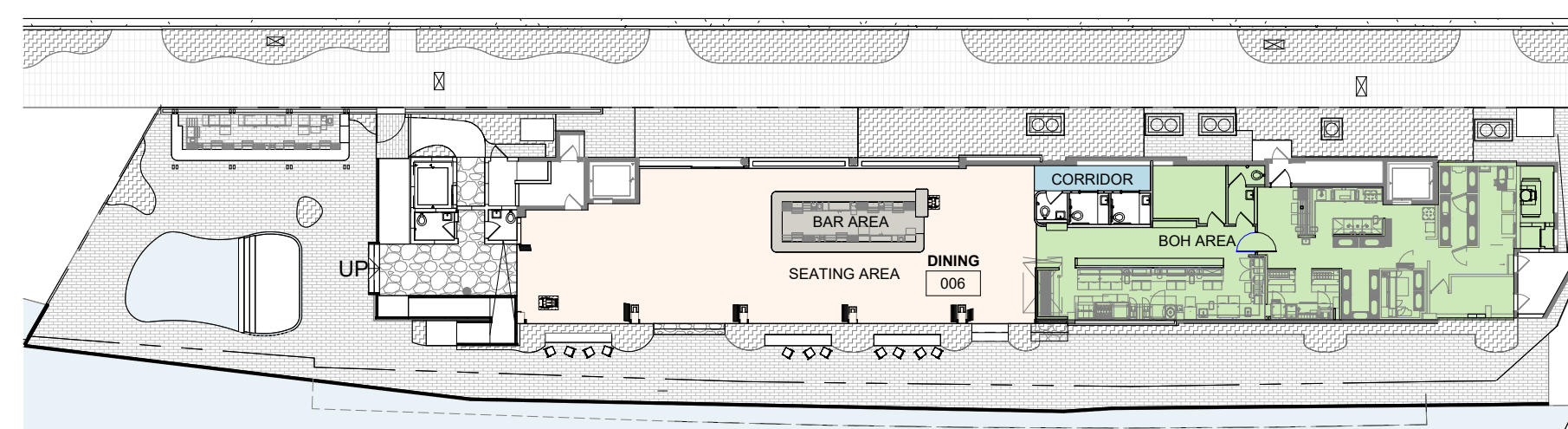
REVISIONS:

No.	Description	Date

**NOTE:**  
SIGNAGE UNDER SEPARATE PERMIT

**1** GROUND LEVEL FLOOR PLAN  
SCALE: 3/32" = 1'-0"

PLAN DIAGRAM



OCCUPANT LOAD CALCULATIONS

SPACES/ROOM	GROSS AREA	OCCUPANT FACTOR	OCCUPANTS
BOH KITCHEN, PREP AREA, DISH WASH AREA	2,130 SQ. FT.	200 SF/OCC.	11
CORRIDOR AREA	95 SQ. FT.	200 SF/OCC.	1
SEATING AREAS UNCONCENTRATED (TABLES AND CHAIRS)	2,160 SQ. FT.	15 SF/OCC.	144
BAR B.O.H AREA	303 SQ. FT.	200 SF/OCC.	2

TOTAL OCCUPANTS **158**

SEATING CALCULATION

SPACES	GROSS AREA	OCCUPANT FACTOR	OCCUPANTS
DINING / INDOOR	5,725 SF	ACTUAL SEATING	75
DINING / OUTDOOR	10,095 SF	ACTUAL SEATING	73
<b>TOTAL SEATING</b>			<b>148</b>
<b>TOTAL TABLES</b>			<b>29</b>

HANDICAP SEATING CALCULATION

- WHEELCHAIR SPACES COMPLYING WITH 802.1 SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 221.2.1.1.  
TABLE 221.2.1.1 SEATING CAPACITY

CAPACITY OF SEATING IN ASSEMBLY AREAS	NUMBER OF REQUIRED WHEELCHAIR LOCATIONS
4 TO 25	1
26 TO 50	2
51 TO 150	4
151 TO 300	5

- ALL TABLES MEET THE ADA REQUIREMENT

WALL LEGEND

	WALL EXISTING TO REMAIN
	EXTERIOR CMU WALL NEW TO REMAIN
	EXTERIOR CMU WALL NEW TO REMAIN
	TYPICAL INTERIOR PARTITION.
	CONCRETE NEW WALL
	TYPICAL INTERIOR PARTITION.

SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS

PERMIT SET

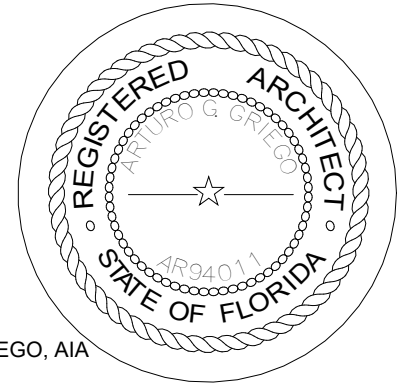
PROJECT No.: **2118**  
ISSUE DATE: **Issue Date**

REVISIONS:  
GROUND LEVEL FLOOR PLAN

SCALE: **As indicated**

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:

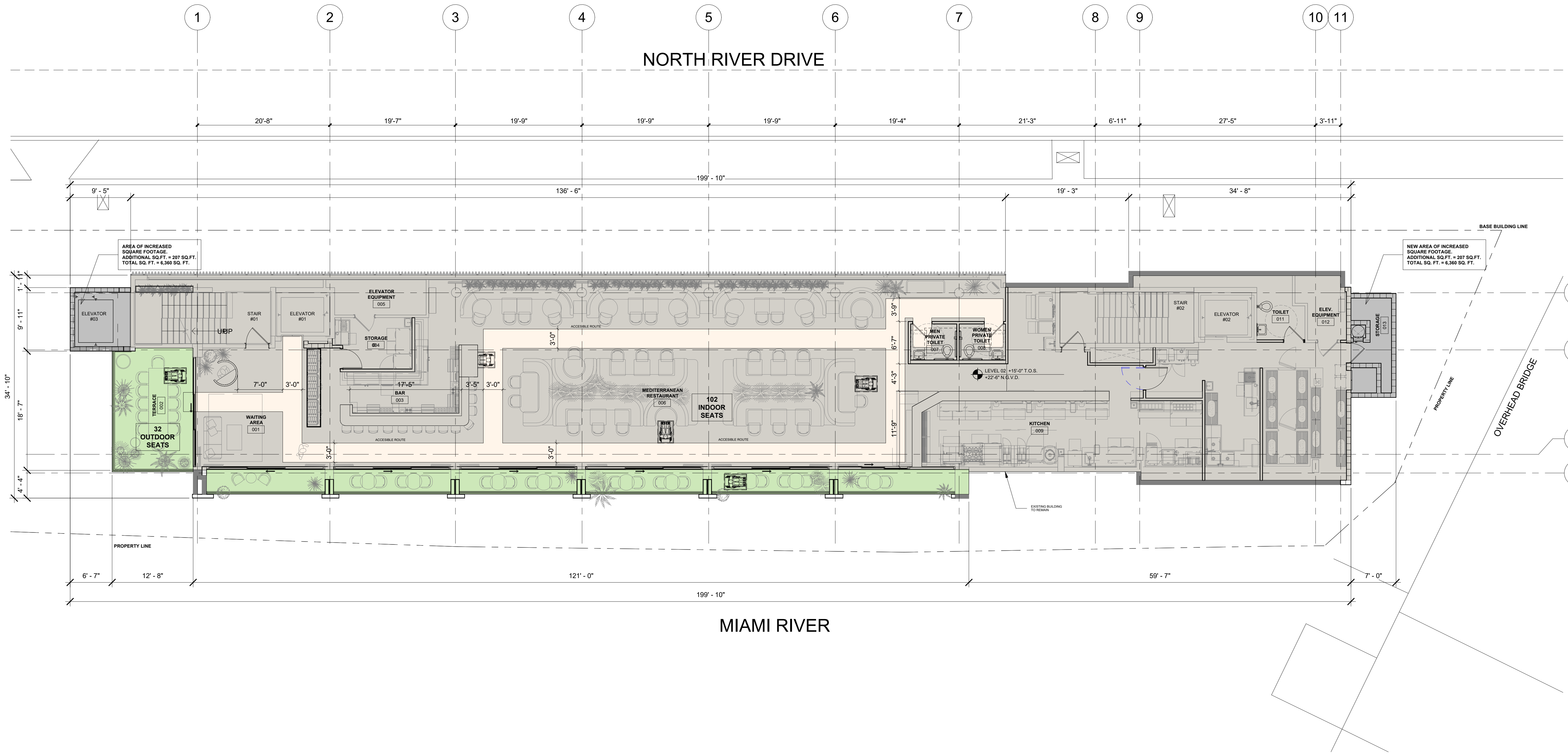


SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.:

**A-01**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



PROJECT, ADDRESS AND OWNER:  
**CASA NEOS**  
 40 SW NORTH RIVER DR | MIAMI FLORIDA 33130  
 OWNER:  
**MILA GROUP**  
 ARCHITECT:  
 G3ae  
 975 Arthur Godfrey rd, suite 401  
 miami beach florida 33140  
 t 305 763 8471 e admin@g3ae.com  
 w www.g3ae.com | #AA26053670  
 CONSULTING ENGINEERS:  
 STRUCTURAL ENGINEERS

MEP:  
 CIVIL ENGINEER:  
 LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	///
Fire Prev	///
Planning	///
Zoning	///
Building	///
Structural	///
Electrical	///
Plumbing	///
Mech	///
S. Waste	///

REVISIONS:

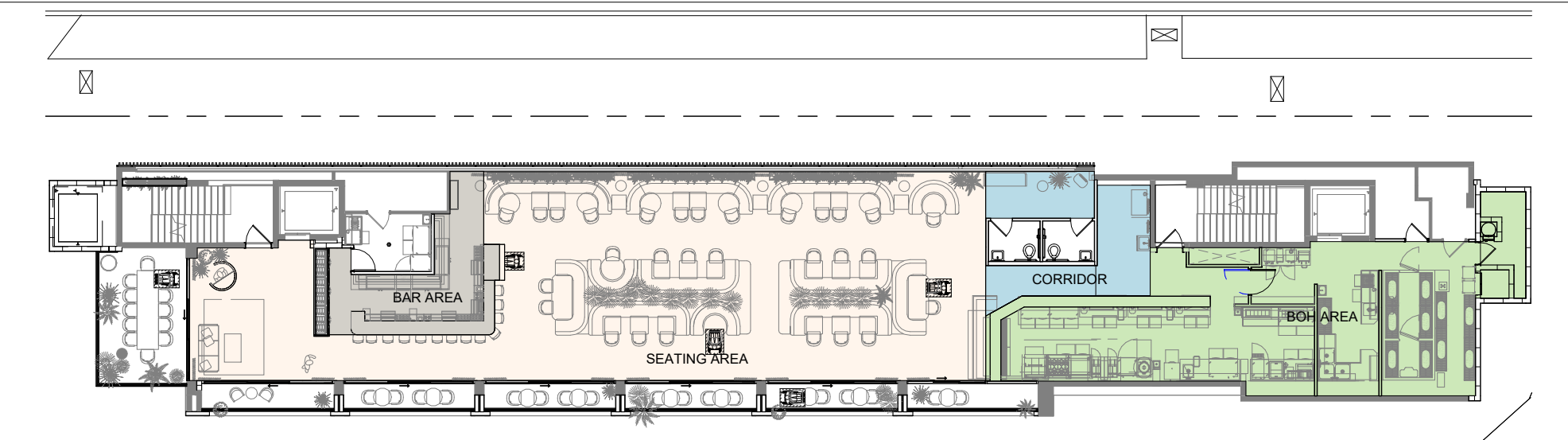
No.	Description	Date

INDOOR AREA  
 OUTDOOR AREA

**NOTE:**  
SIGNAGE UNDER SEPARATE PERMIT

**1** LEVEL 02 FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

**PLAN DIAGRAM**



**OCCUPANT LOAD CALCULATIONS**

SPACES/ROOM	GROSS AREA	OCCUPANT FACTOR	OCCUPANTS
BOH KITCHEN, PREP AREA, DISH WASH AREA	1,240 SQ. FT.	200 SF/OCC	6
CORRIDOR AREA	235 SQ. FT.	200 SF/OCC.	1
DINING AREA, TOTAL SEATS (TABLES AND CHAIRS)	2,920 SQ. FT.	15 SF/OCC.	193
BAR B.O.H. AREA	303 SQ. FT.	200 SF/OCC.	2
<b>TOTAL OCCUPANTS</b>			<b>202</b>

**HANDICAP SEATING CALCULATION**

- WHEELCHAIR SPACES COMPLYING WITH 802.1 SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 221.2.1.1.  
 TABLE 221.2.1.1 SEATING CAPACITY



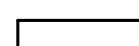


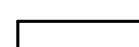
CAPACITY OF SEATING IN ASSEMBLY AREAS	NUMBER OF REQUIRED WHEELCHAIR LOCATIONS
4 TO 25	1
26 TO 50	2
51 TO 150	4
151 TO 300	5

- ALL TABLES MEET THE ADA REQUIREMENT

**SEATING CALCULATION**

SPACES	GROSS AREA	OCCUPANT FACTOR	OCCUPANTS
DINING / INDOOR	3,725 SF	ACTUAL SEATING	102
DINING / OUTDOOR	760 SF	ACTUAL SEATING	32
<b>TOTAL SEATING</b>			<b>134</b>
<b>TOTAL TABLES</b>			<b>40</b>

**WALL LEGEND**

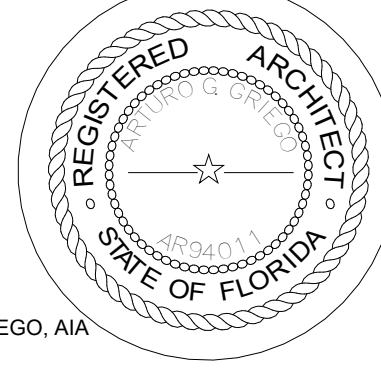
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	EXTERIOR CMU WALL NEW TO REMAIN
	EXTERIOR CMU WALL NEW TO REMAIN
	TYPICAL INTERIOR PARTITION.
	CONCRETE NEW WALL
	TYPICAL INTERIOR PARTITION.

SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS

**PERMIT SET**

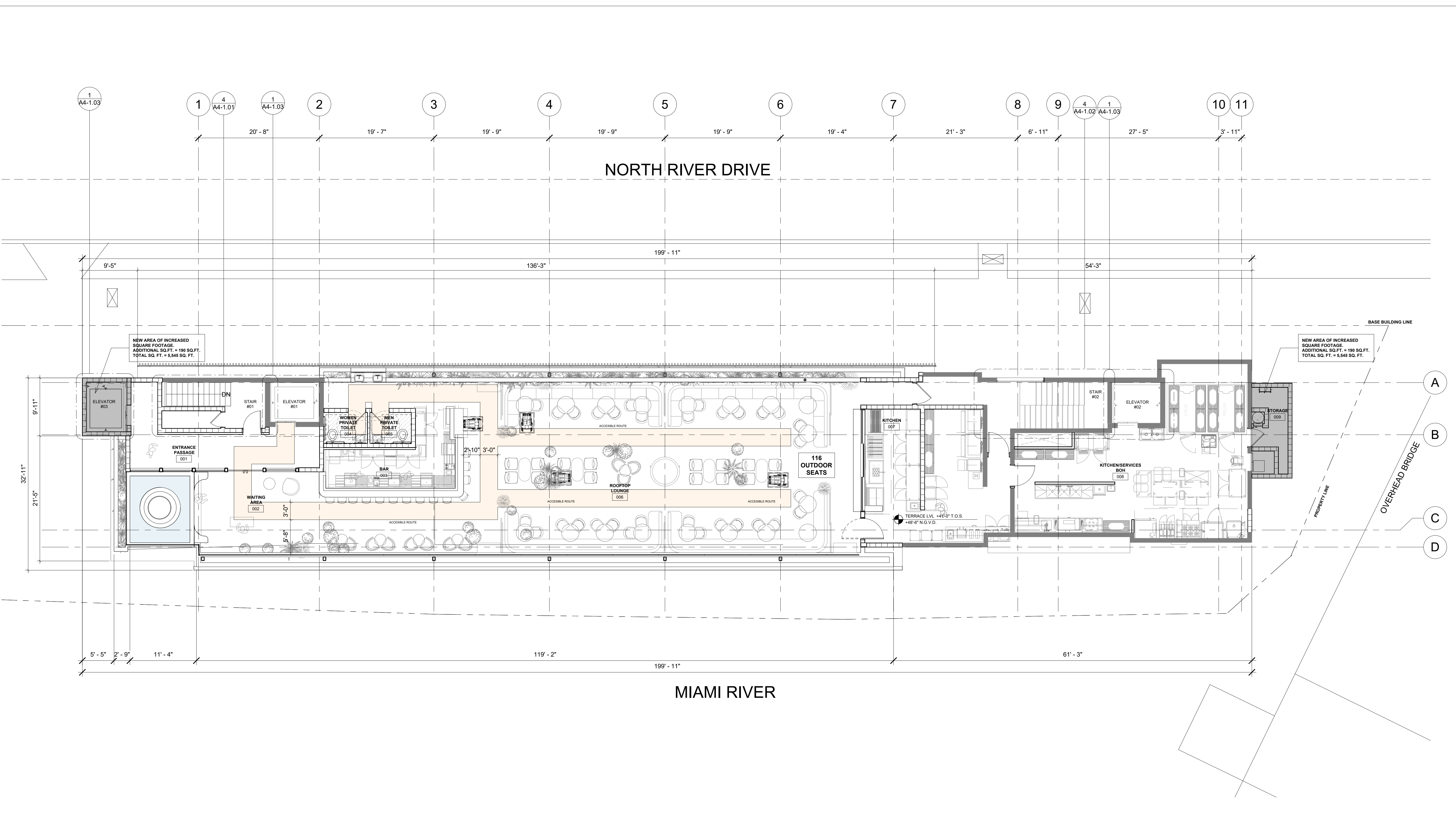
PROJECT No.: **2118**  
 ISSUE DATE: **Issue Date**  
 REVISIONS:  
 LEVEL 02 FLOOR PLAN  
 SCALE: **As indicated**

TO THE BEST OF THE ARCHITECT'S OR ENGINEERS KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:  


SIGNATURE:  
**ARTURO G. GRIEGO, AIA AR94011**  
 SHEET No.: **A-02**

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PROJECT, ADDRESS AND OWNER:

**CASA NEOS**

40 SW NORTH RIVER DR | MIAMI FLORIDA 33130

OWNER:

MILA GROUP

ARCHITECT:



CONSULTING ENGINEERS:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	///
Fire Prev	///
Planning	///
Zoning	///
Building	///
Structural	///
Electrical	///
Plumbing	///
Mech	///
S. Waste	///

REVISIONS:

No.	Description	Date

**PERMIT SET**

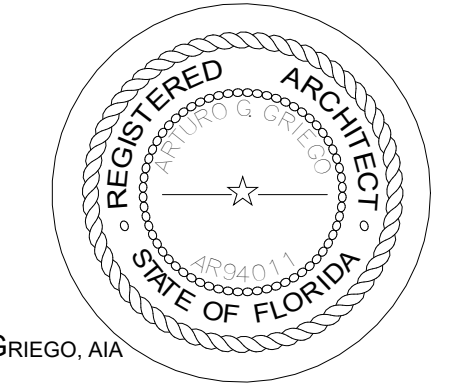
PROJECT No.: 2118  
 ISSUE DATE: Issue Date

REVISIONS:  
 TERRACE LEVEL FLOOR PLAN

SCALE: As indicated

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



SIGNATURE:  
 ARTURO G. GRIEGO, AIA  
 AR94011

SHEET No.:

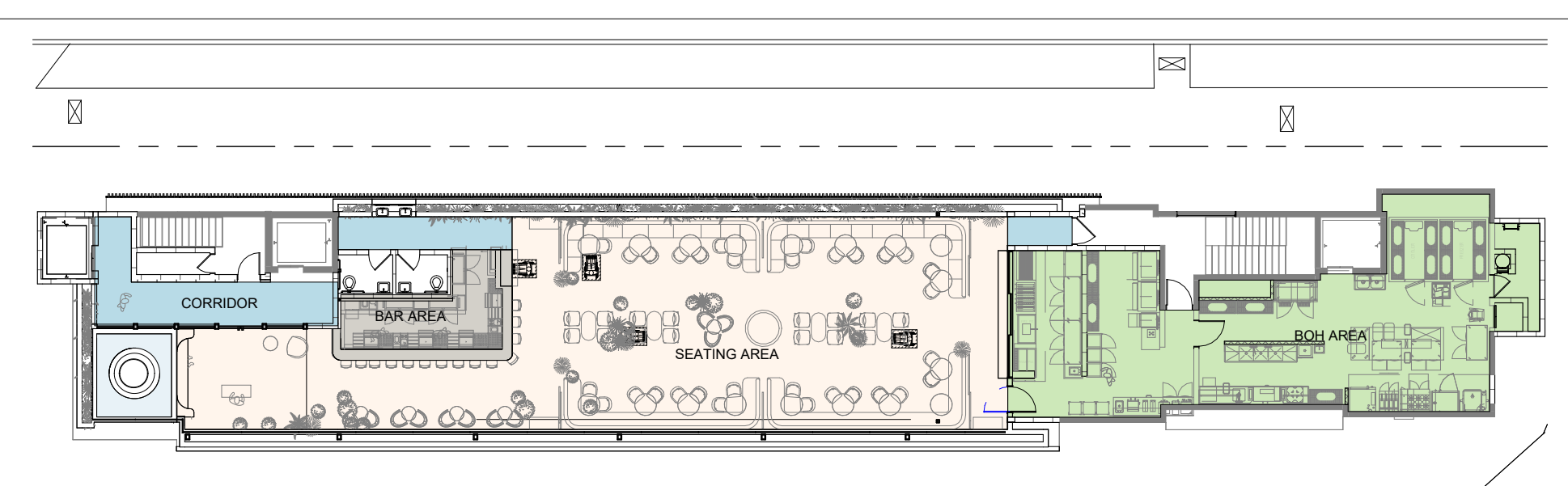
**A-03**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

NOTE:  
 SIGNAGE UNDER SEPARATE PERMIT

**1** TERRACE LEVEL FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

**PLAN DIAGRAM**



**OCCUPANT LOAD CALCULATIONS**

SPACES/ROOM	GROSS AREA	OCCUPANT FACTOR	OCCUPANTS
BOH KITCHEN, PREP AREA, DISH WASH AREA	1,620 SQ. FT.	200 SF/OCC	8
CORRIDOR AREA	340 SQ. FT.	200 SF/OCC.	2
DINING AREA, TOTAL SEATS (TABLES AND CHAIRS)	2,080 SQ. FT.	15 SF/OCC.	139
BAR B.O.H. AREA	253 SQ. FT.	200 SF/OCC.	1
<b>TOTAL OCCUPANTS</b>			<b>150</b>

**HANDICAP SEATING CALCULATION**

- WHEELCHAIR SPACES COMPLYING WITH 802.1 SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 221.2.1.1.

TABLE 221.2.1.1 SEATING CAPACITY

CAPACITY OF SEATING IN ASSEMBLY AREAS	NUMBER OF REQUIRED WHEELCHAIR LOCATIONS
4 TO 25	1
26 TO 50	2
51 TO 150	4
151 TO 300	5

- ALL TABLES MEET THE ADA REQUIREMENT

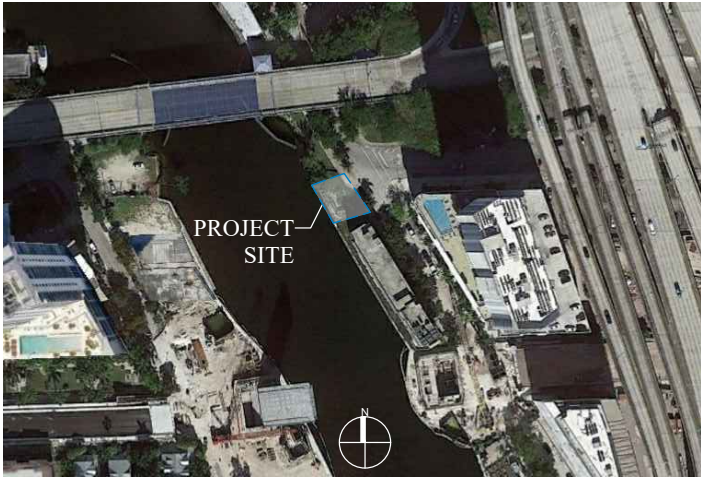
**SEATING CALCULATION**

SPACES	GROSS AREA	OCCUPANT FACTOR	OCCUPANTS
DINING / OUTDOOR	4,200 SF	ACTUAL SEATING	116
<b>TOTAL SEATING</b>			<b>116</b>
<b>TOTAL TABLES</b>			<b>27</b>

**WALL LEGEND**

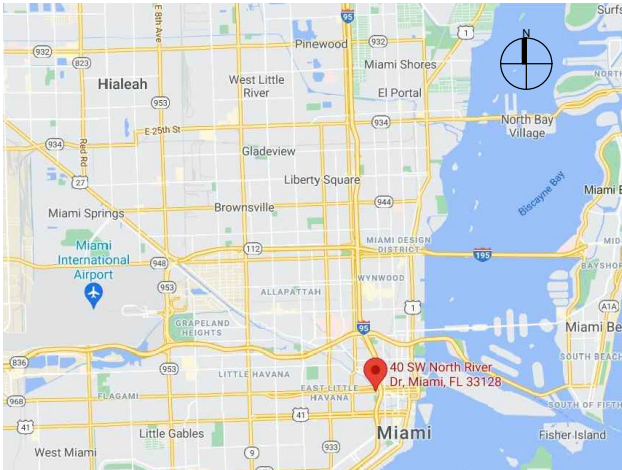
1	WALL EXISTING TO REMAIN
2	EXTERIOR CMU WALL NEW TO REMAIN
3	EXTERIOR CMU WALL NEW TO REMAIN
4	TYPICAL INTERIOR PARTITION.
5	CONCRETE NEW WALL
6	TYPICAL INTERIOR PARTITION.

SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS



PROJECT SITE

## LOCATION MAP AND LEGAL DESCRIPTION



**PROJECT SITE LOCATION:**  
40 SW North River Drive  
Miami, FL 33139

**LATITUDE:** 25°46'25.46"N  
**LONGITUDE:** 80°12'2.47"W

**FOLIO No.:** 02-3232-011-0550

**LEGAL DESCRIPTION:**  
32 53 42

DI LIDO ISLAND PB 8-36

LOT 2 & 8FT STRIP CONTIG TO SAME  
ON BAY BLK 4

LOT SIZE 60.000 X 175

OR 20357-0189 06 2001 4

### GENERAL NOTES:

- ELEVATIONS SHOWN REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.
- IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ENGINEER BEFORE PROCEEDING WITH WORK. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
- IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE, AND FEDERAL ENVIRONMENTAL PERMITS ISSUED FOR THIS PROJECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.
- APPLICABLE BUILDING CODE: FLORIDA BUILDING CODE, 2020 EDITION (AND CURRENT ADDENDUMS).
- APPROVED CONTRACTOR TO DETERMINE THE SUITABILITY OF EXISTING STRUCTURES AND VERIFY ALL DIMENSIONS. THE APPROVED CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCES AND PROCEDURES OF WORK.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS.
- CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK.
- CONTRACTOR TO PROPERLY FENCE AND SECURE AREA WITH BARRICADES.
- ANY DEVIATION AND/OR SUBSTITUTION FROM THE INFORMATION PROVIDED HEREIN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- ALL NEW MATERIALS AND/OR PATCHWORK SHALL BE PROVIDED TO MATCH EXISTING MATERIALS AND/OR ADJOINING WORK WHERE PRACTICAL EXCEPT AS SPECIFICALLY NOTED HEREIN.
- LICENSED CONTRACTOR SHALL USE ALL POSSIBLE CARE TO PROTECT ALL EXISTING MATERIALS, SURFACES, AND FURNISHINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- THE LICENSED CONTRACTOR TO INSTALL AND REMOVE ALL SHORING AND BRACING AS REQUIRED FOR THE PROPER EXECUTION OF THE WORK.
- ALL NEW WORK AND/OR MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF EACH ADMINISTRATIVE BODY HAVING JURISDICTION IN EACH PERTAINING CIRCUMSTANCE.
- THE CONTRACTOR WILL EMPLOY AND MAINTAIN ADEQUATE SEDIMENT AND EROSION CONTROL MEASURES TO PROTECT BISCAYNE BAY FROM SEDIMENT AND CONSTRUCTION DEBRIS.

### DESIGN CRITERIA

STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE FOLLOWING CODES AND SPECIFICATIONS:

- FLORIDA BUILDING CODE (FBC), 2020 EDITION.
- ACI 318-19, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
- ASCE 7-16, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
- NDS NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, 2018 EDITION.
- EM 1110-2-1100 (PART VI) COASTAL ENGINEERING MANUAL, 2011 EDITION.

IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND THE REQUIREMENTS OF THE REFERENCED STANDARDS OF THESE SPECIFICATIONS, THE PROVISIONS OF THE MORE STRINGENT SHALL GOVERN.

**DOCK LL:** 100 PSF

### BOLTS:

- ALL BOLTS SHALL BE 316 STAINLESS STEEL, UNLESS OTHERWISE NOTED.

### CONCRETE

- CONCRETE SHALL CONFORM TO ACI 318 (LATEST ED.) AND SHALL BE REGULAR WEIGHT, SULFATE RESISTANT, WITH A DESIGN STRENGTH OF 5,000 PSI AT 28 DAYS W/ A MAX WATER-CEMENTIOUS MATERIALS RATIO, BY WEIGHT, NORMAL WEIGHT AGGREGATE CONCRETE OF 0.40.
- OWNER SHALL EMPLOY AND PAY FOR TESTING SERVICES FROM AN INDEPENDENT TESTING LABORATORY FOR CONCRETE SAMPLING AND TESTING IN ACCORDANCE W/ ASTM.
- LICENSED CONTRACTOR IS RESPONSIBLE FOR THE ADEQUACY OF FORMS AND SHORING AND FOR SAFE PRACTICE IN THEIR USE AND REMOVAL.
- CONCRETE COVER SHALL BE 3" UNLESS OTHERWISE NOTED ON APPROVED DRAWINGS.
- REINFORCING STEEL SHALL BE IN CONFORMANCE WITH THE LATEST VERSION OF ASTM A615 GRADE 60 SPECIFICATIONS. ALL REINFORCEMENT SHALL BE PLACED IN ACCORDANCE W/ ACI 315 AND ACI MANUAL OF STANDARD PRACTICE.
- SPLICES IN REINFORCING BARS SHALL NOT BE LESS THAN 48 BAR DIAMETERS AND REINFORCING SHALL BE CONTINUOUS AROUND ALL CORNERS AND CHANGES IN DIRECTION. CONTINUITY SHALL BE PROVIDED AT CORNERS OR CHANGES IN DIRECTION BY BENDING THE LONGITUDINAL STEEL AROUND THE CORNER 48 BAR DIAMETERS.
- 

### STEEL SHEET PILE

- COAT TOP 15 FEET OF ONE SIDE OF STEEL SHEET PILE MINIMUM OF 16 MILS, COAL TAR EPOXY OR EQUIVALENT.
  - DRIVE STEEL SHEET PILES TO MINIMUM DEPTH RECOMMENDED BY GEO-TECHNICAL ENGINEER.
- ALL SHEET PILES TO BE HOT ROLLED, 50 KSI STEEL MINIMUM.

### WOOD

- PRIMARY WOOD FRAMING MEMBERS SHALL BE NUMBER 1 PRESSURE TREATED MARINE GRADE TEK SOUTHERN PINE, OR BETTER.

### PILE DRIVING NOTES

- PILE DRIVING OPERATIONS SHALL BE OBSERVED BY A SPECIAL INSPECTOR, INCLUDING TEST PILES SUFFICIENT TO DETERMINE THE APPROXIMATE LENGTH REQUIRED TO MEET DESIGN CAPACITY.
- PILES SHALL BE DRIVEN USING AN APPROVED CUSHION BLOCK CONSISTING OF MATERIAL SO ARRANGED SO AS TO PROVIDE THE TRANSMISSION OF THE HAMMER ENERGY.
- PILES SHALL BE DRIVEN TO REQUIRED MINIMUM 15 TON BEARING CAPACITY.
- PILES SHALL BE DRIVEN WITH A DROP HAMMER OR GRAVITY HAMMER PROVIDED THE HAMMER SHALL WEIGH NO LESS THAN 3,000 POUNDS, AND THE FALL OF THE HAMMER SHALL NOT EXCEED 6 FT.
- PILES SHALL BE DRIVEN WITH A VARIATION OF NOT MORE THAN 1/4" PER FOOT FROM THE VERTICAL, OR FROM THE BATTER LINE INDICATED, WITH A MAX VARIATION OF THE HEAD OF THE PILE FROM THE POSITION SHOWN ON THE PLANS OF NOT MORE THAN 3".
- WHERE PILING MUST PENETRATE STRATA OFFERING HIGH RESISTANCE TO DRIVING, THE STRUCTURAL ENGINEER OF RECORD OR SPECIAL INSPECTOR MAY REQUIRE THAT PILES BE SET IN PRE-DRILLED OR PUNCHED HOLES. THE PILES SHALL REACH THEIR FINAL PENETRATION BY DRIVING.

## 40 SW NORTH RIVER DRIVE SEAWALL PROJECT

**CLIENT:**  
CASA NEOS, LLC  
**C/O: MR. AARON J. BUTLER**  
40 SW North River Drive  
Miami Beach, Florida 33128

**ENVIRONMENTAL CONSULTANT:**  
**OCEAN CONSULTING, LLC**  
340 Minorca Avenue, Suite 7  
Coral Gables, Florida 33134

**CONTRACTOR:**

**PROJECT ENGINEER:**  
**DYNAMIC ENGINEERING SOLUTIONS, INC.**  
351 S. Cypress Road, Suite 303 Office - 954-545-1740  
Pompano Beach, FL 33060 Fax - 954-545-1721

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John Omslaer  
PE 52733, CA 26829

**Issue # Issue Date**

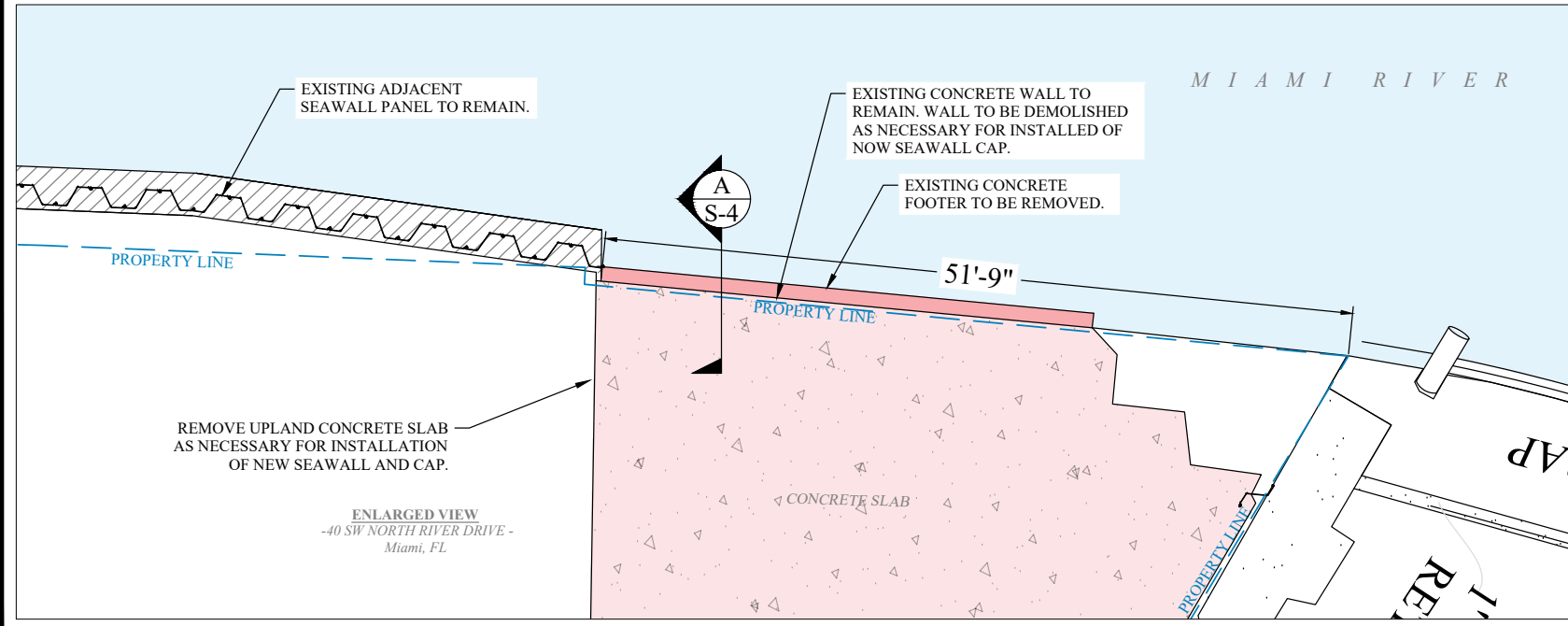
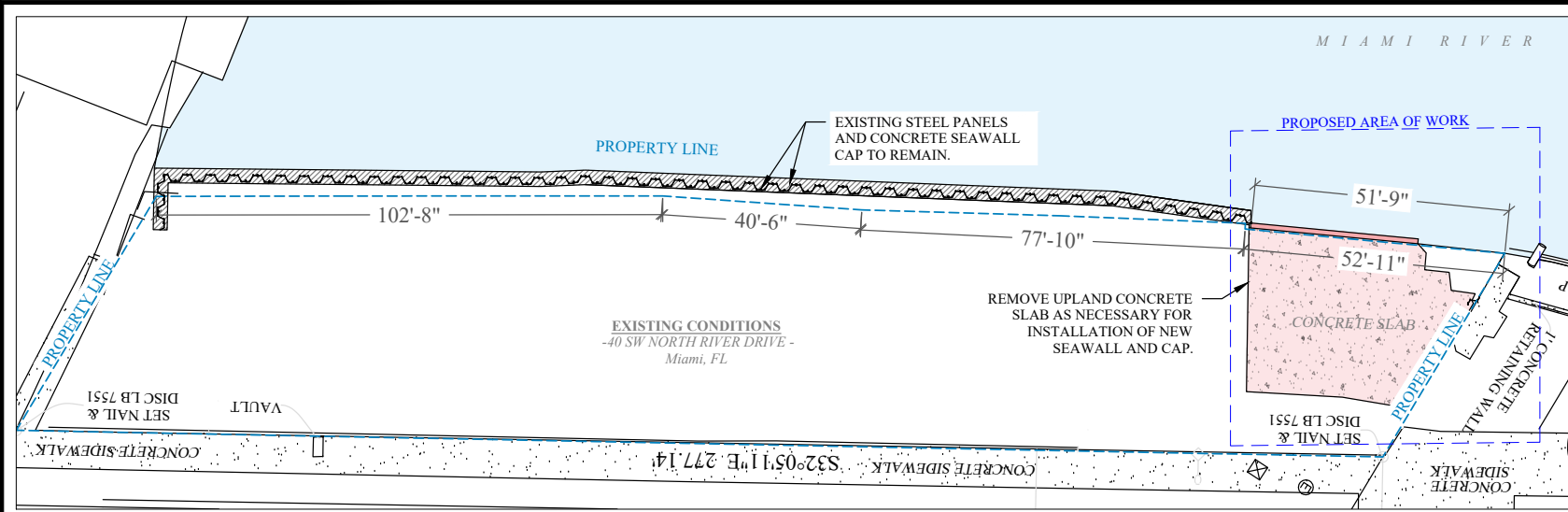
① August 16, 2021

**PROJECT LOCATION AND NOTES**

**SCALE:** AS SHOWN  
**PERMIT DRAWINGS**  
PROJECT: 20-10430

SHEET NO.

**S-1**



**40 SW NORTH RIVER DRIVE  
SEAWALL PROJECT**

CASA NEOS, LLC  
 C/O: MR. AARON J. BUTLER  
 40 SW North River Drive  
 Miami Beach, Florida 33128

ENVIRONMENTAL CONSULTANT:  
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 340 Minorca Avenue, Suite 7  
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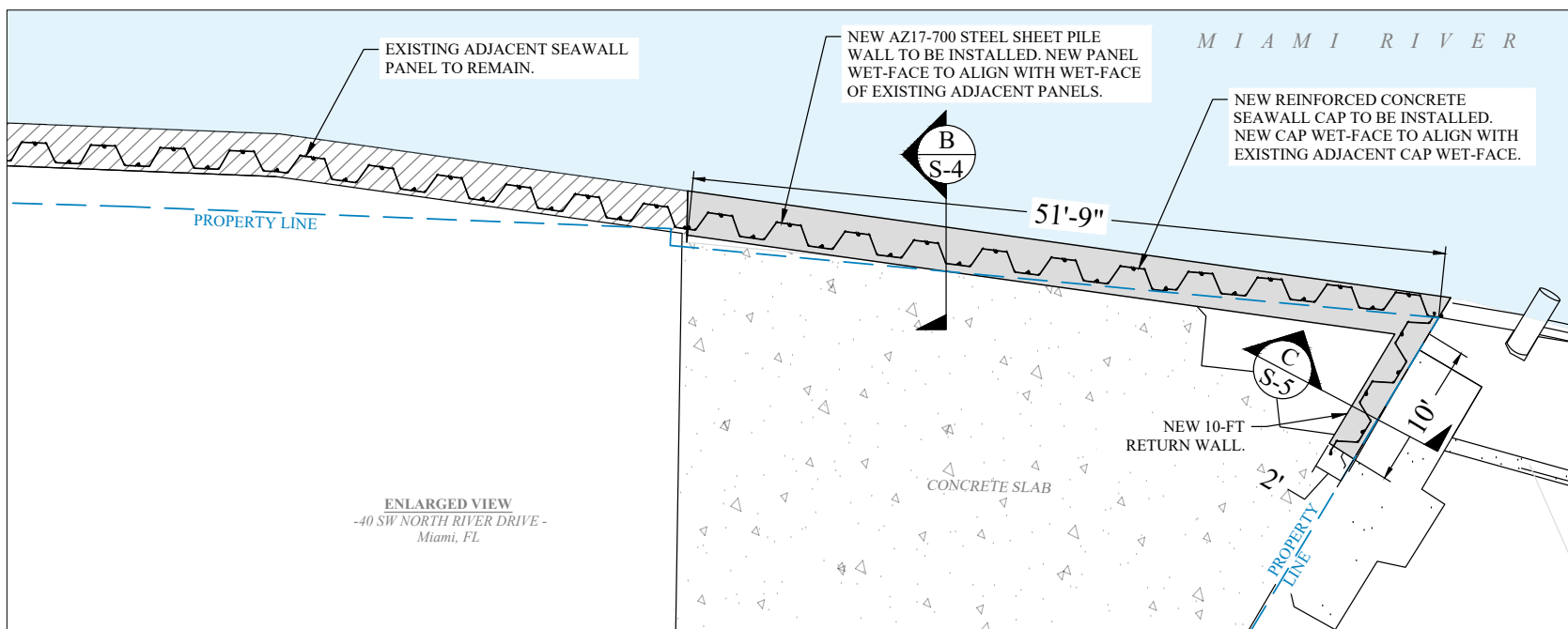
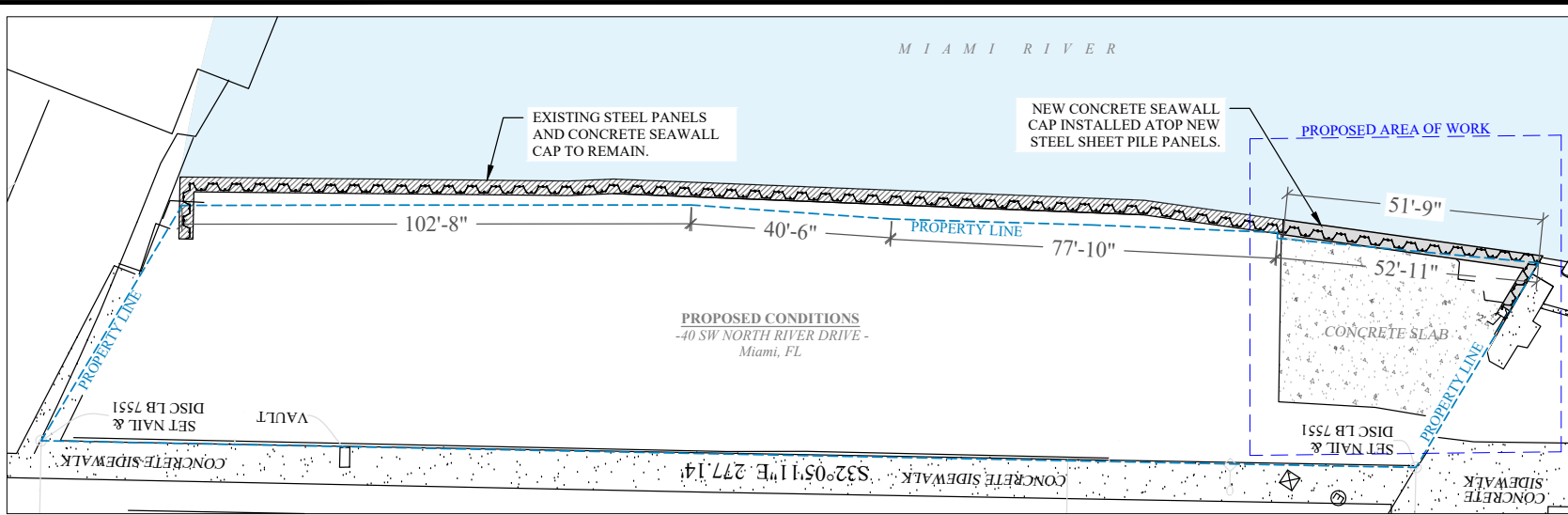
**Issue Date**  
 ① August 16, 2021

EXISTING CONDITIONS

SCALE: AS SHOWN  
**PERMIT DRAWINGS**  
 PROJECT: 20-10430

SHEET NO.  
**S-2**





**40 SW NORTH RIVER DRIVE SEAWALL PROJECT**

**CASA NEOS, LLC**  
 C/O: MR. AARON J. BUTLER  
 40 SW North River Drive  
 Miami Beach, Florida 33128

ENVIRONMENTAL CONSULTANT:  
**OCEAN CONSULTING, LLC**  
 340 Minorca Avenue, Suite 7  
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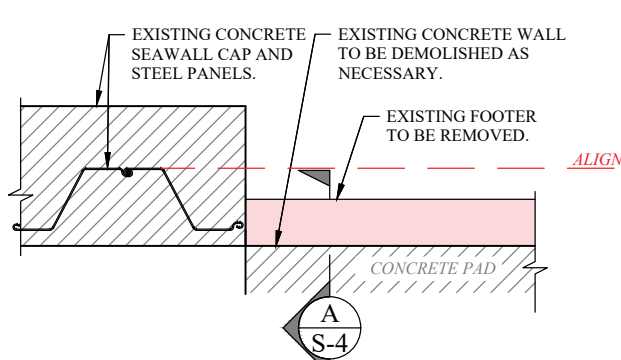
PROJECT ENGINEER:  
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 John Omslaer  
 PE 52733, CA 26829  
**Issue Date**  
 ① August 16, 2021

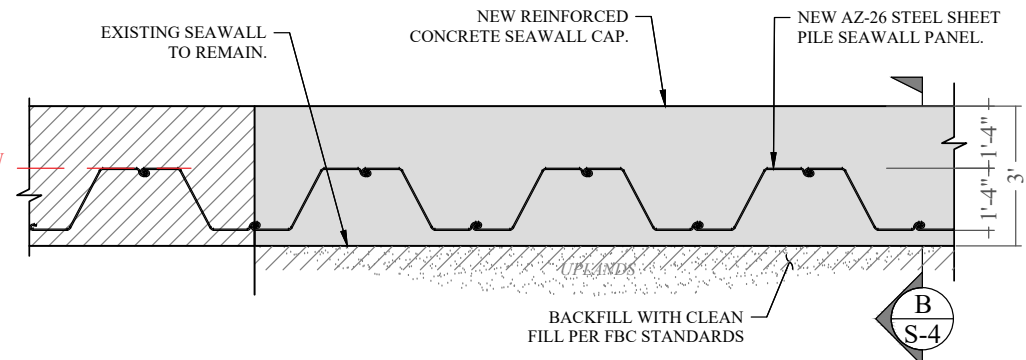
PROPOSED CONDITIONS

SCALE: AS SHOWN  
**PERMIT DRAWINGS**  
 PROJECT: 20-10430

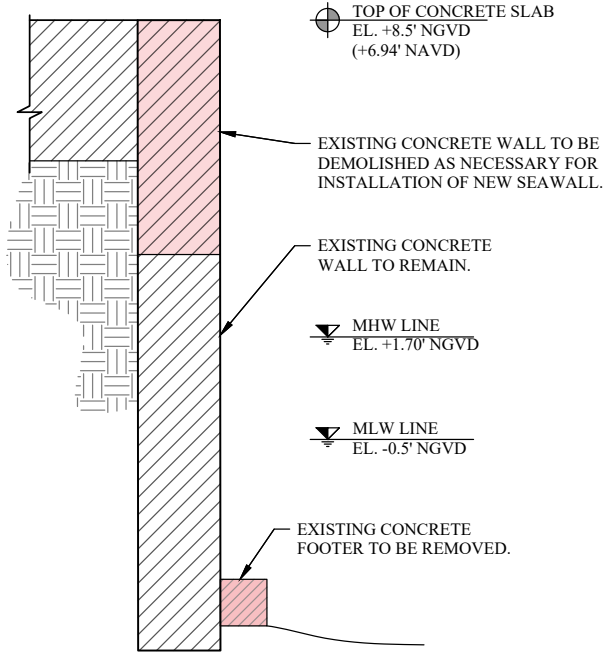
SHEET NO.  
**S-3**



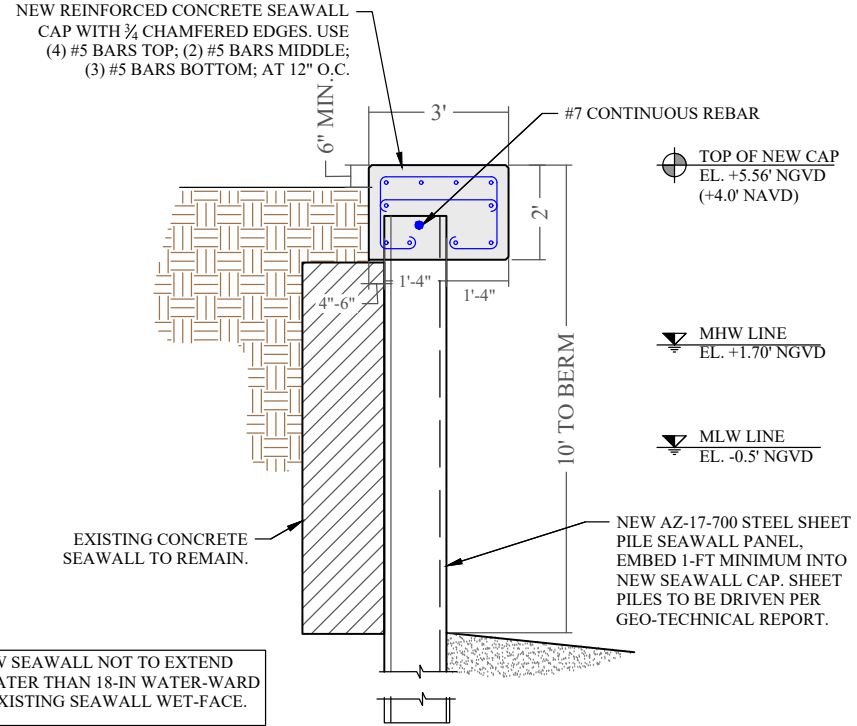
**EXISTING SEAWALL CONDITIONS** (1)  
SCALE: 3/8" = 1'-0" (S-4)



**PROPOSED SEAWALL CONDITIONS** (2)  
SCALE: 3/8" = 1'-0" (S-4)



**EXISTING SEAWALL SECTION** (A)  
SCALE: 3/8" = 1'-0" (S-4)



**PROPOSED SEAWALL SECTION** (B)  
SCALE: 3/8" = 1'-0" (S-4)

**40 SW NORTH RIVER DRIVE SEAWALL PROJECT**

**CASA NEOS, LLC**  
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John Omslaer  
PE 52733, CA 26829

**Issue Date**  
① August 16, 2021

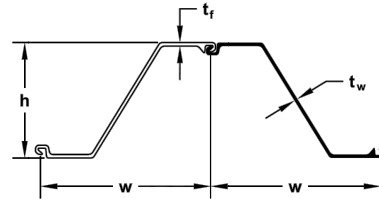
EXISTING AND PROPOSED SECTIONS

SCALE: AS SHOWN  
**PERMIT DRAWINGS** SHEET NO.  
PROJECT: 20-10430

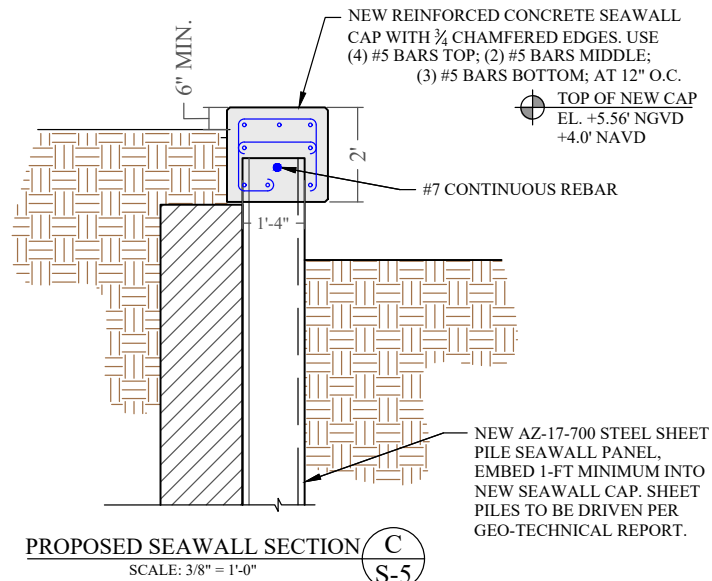
**S-4**

# AZ

## AZ Hot Rolled Steel Sheet Pile



SECTION	Width (w) in (mm)	Height (h) in (mm)	THICKNESS		Cross Sectional Area in <sup>2</sup> /ft (cm <sup>2</sup> /m)	WEIGHT		SECTION MODULUS		Moment of Inertia in <sup>4</sup> /ft (cm <sup>4</sup> /m)	COATING AREA	
			Flange (t <sub>f</sub> ) in (mm)	Web (t <sub>w</sub> ) in (mm)		Pile lb/ft (kg/m)	Wall lb/ft <sup>2</sup> (kg/m <sup>2</sup> )	Elastic in <sup>3</sup> /ft (cm <sup>3</sup> /m)	Plastic in <sup>3</sup> /ft (cm <sup>3</sup> /m)		Both Sides ft <sup>2</sup> /ft of single (m <sup>2</sup> /m)	Wall Surface ft <sup>2</sup> /ft <sup>2</sup> (m <sup>2</sup> /m <sup>2</sup> )
<b>AZ 17-700</b>	27.56 700	16.52 420	0.335 8.5	0.335 8.5	6.28 133.0	49.12 73.1	21.38 104.4	32.2 1730	37.7 2027	265.3 36230	6.10 1.86	1.33 1.33



### 40 SW NORTH RIVER DRIVE SEAWALL PROJECT

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John Omslaer  
PE 52733, CA 26829

**Issue Date**

① August 16, 2021

SHEET PILE SPECIFICATIONS &  
RETURN WALL SECTION  
SCALE: AS SHOWN

PERMIT DRAWINGS

PROJECT: 20-10430

SHEET NO.

**S-5**

# **Miami River Commission's Stormwater Subcommittee Public Virtual Workshop Minutes March 2, 2022**

The Miami River Commission (MRC) Stormwater Subcommittee's quarterly public virtual workshop convened at 10 am, March 2, 2022

**I. "Miami River Basin Water Quality Improvement Plan" Agency Quarterly Implementation Progress Reports** – Mr. Omar Abdelrahman, Miami Dade County's Department of Environmental Resource Management's (DERM) submitted the following Miami River Basin Water Quality Improvement Plan's progress report.

October – December 2021 - The most alarming water quality violation were detected in December 2021 at Wagner Creek testing locations WC02 (and WC03), where 24,196 (cfu/100ml) E. Coli Bacteria was found, while the clean water standard is only 410 (cfu/100ml) and 19,900 (cfu/100ml) Entero Bacteria was detected where the clean water standard is only 130 (cfu/100ml).

In addition, Miami Dade County's Department of Environmental Resource Management's (DERM) quarterly Miami River Basin Water Quality Improvement Plan's progress reports include water quality samples taken at 4 locations on the Miami River, 3 locations on Wagner Creek, 1 location on Tamiami Canal, 1 location on Comfort Canal, and 4 locations in Biscayne Bay for Enterococci Bacteria, E. Coli, Ammonia Nitrogen, Total Phosphate, and turbidity, including 5-year tracking charts.

Irela Bague, Miami Dade County Chief Bay Officer, suggested at the next meeting all the Miami River Water Basin's previous reports ie the Miami River Walk the WBID, Wagner Creek Walk the WBID, Miami River TMDL, recent Woods Study, etc be placed on the agenda, reviewed and discussed. Brett Bibeau, Managing Director, Miami River Commission, agreed to do so.

MRC Director Bibeau stated the MRC will be applying to the State of Florida for \$600,000 in grant funding from the State's FY 22-23's \$20 million for improving water quality in the Biscayne Bay Aquatic Preserve, by increasing frequency of vacuum truck services in stormwater manholes along the Miami River, landside garbage pickups, and street sweeper truck services along the Miami River. Both were identified as sources of pollution in the County's recent helpful Miami River Water Quality Assessment, which will be reviewed during the MRC Stormwater Subcommittee's next quarterly public virtual workshop.

Director Bibeau stated he had reported an illegal structure located on the north shore of the South Fork Tributary to the City of Miami.

The MRC SSC's next quarterly public virtual workshop will be June 1, 2022, 10 AM. The public virtual workshop adjourned.

**PUBLIC DOCUMENT**

**“MIAMI RIVER BASIN WATER QUALITY IMPROVEMENT REPORT”**  
**Action Item Matrix Quarterly Progress Report**

Fourth Quarterly Report, 2021  
(October-December 2021)

**Action Item:**

4. Monitoring and Research

- a. Continue monthly monitoring for water quality of Wagner Creek, Miami River, and adjoining Biscayne Bay

<b>Lead Agency:</b>	Miami-Dade County Regulatory and Economic Resources, Division of Environmental Resources Management (DERM)
<b>Contact Name</b>	Pamela Sweeney or Omar Abdelrahman, DERM
<b>Address</b>	701 NW 1 <sup>st</sup> Court Miami, FL 33136
<b>Telephone</b>	(305) 372-6594 or (305) 372-6872
<b>Fax</b>	(305) 372-6649
<b>E-mail</b>	<a href="mailto:Pamela.sweeney@miamidade.gov">Pamela.sweeney@miamidade.gov</a> <a href="mailto:abdelo@miamidade.gov">abdelo@miamidade.gov</a>

**Action Item Status:**

Miami-Dade DERM has continued to collect monthly water quality samples in the Miami River and its tributaries (including Tamiami Canal, Comfort Canal and Wagner Creek). During the Fourth Quarter of 2021 samples were collected at each of the eight (8) stations in the River and tributaries on First Tuesday of the first full week in October and November and December. Costs for sampling (including salaries and fringe and analysis) have been calculated at approximately \$394 per station per month. No sewage spills were reported on or around the Miami River or its tributaries during the quarter.

The Florida Department of Environmental Protection (FDEP) revised the human health-based surface water quality criteria in Chapter 62-302, F.A.C that are designed to ensure that Floridians can safely eat Florida fish and drink local tap water. Figures 1 -3 below depict where monthly results for stations in the Miami River and the vicinity exceed the single sample standard of 130 cfu/100ml for Enterococcus—the applicable indicator for saline locations. Figure 4 is a quarterly composite of Enterococci results from station locations on the Miami River and its tributaries showing how frequently the results at each station exceeded the standard during the Third Quarter of the year. Table 1 lists the observed Enterococcus values, as well as E. Coli levels, in Wagner Creek and its confluence with the Miami River (MR03) for October-December.

# “MIAMI RIVER BASIN WATER QUALITY IMPROVEMENT REPORT”

## Action Item Matrix Quarterly Progress Report

### Biscayne Bay Surface Water Quality Monitoring Program

### Enterococci Bacteria Sample Compliance

## October 2021

### Miami River and Tributaries

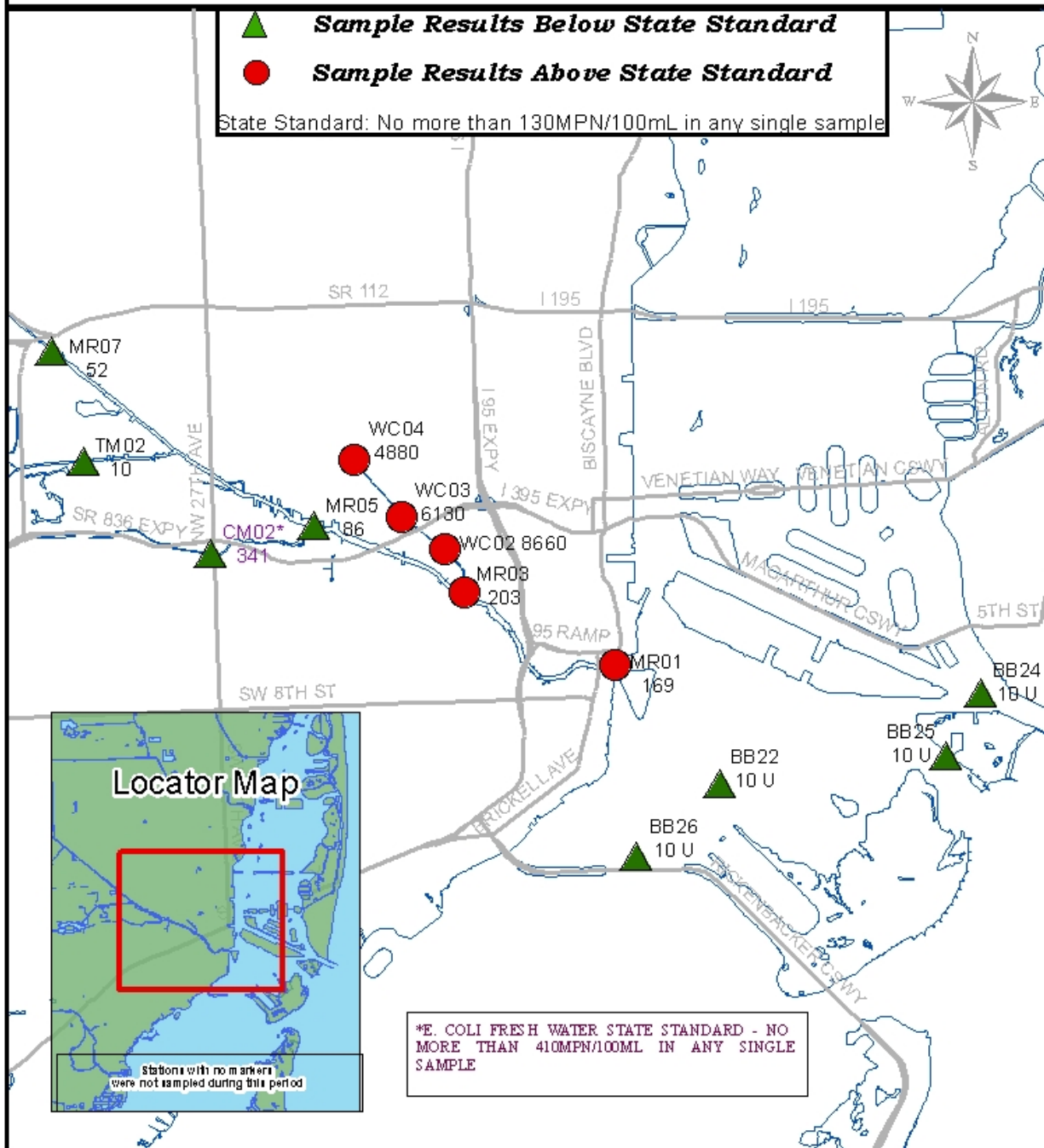


Figure 1.

# Biscayne Bay Surface Water Quality Monitoring Program

## Enterococci Bacteria Sample Compliance

### November 2021

### Miami River and Tributaries

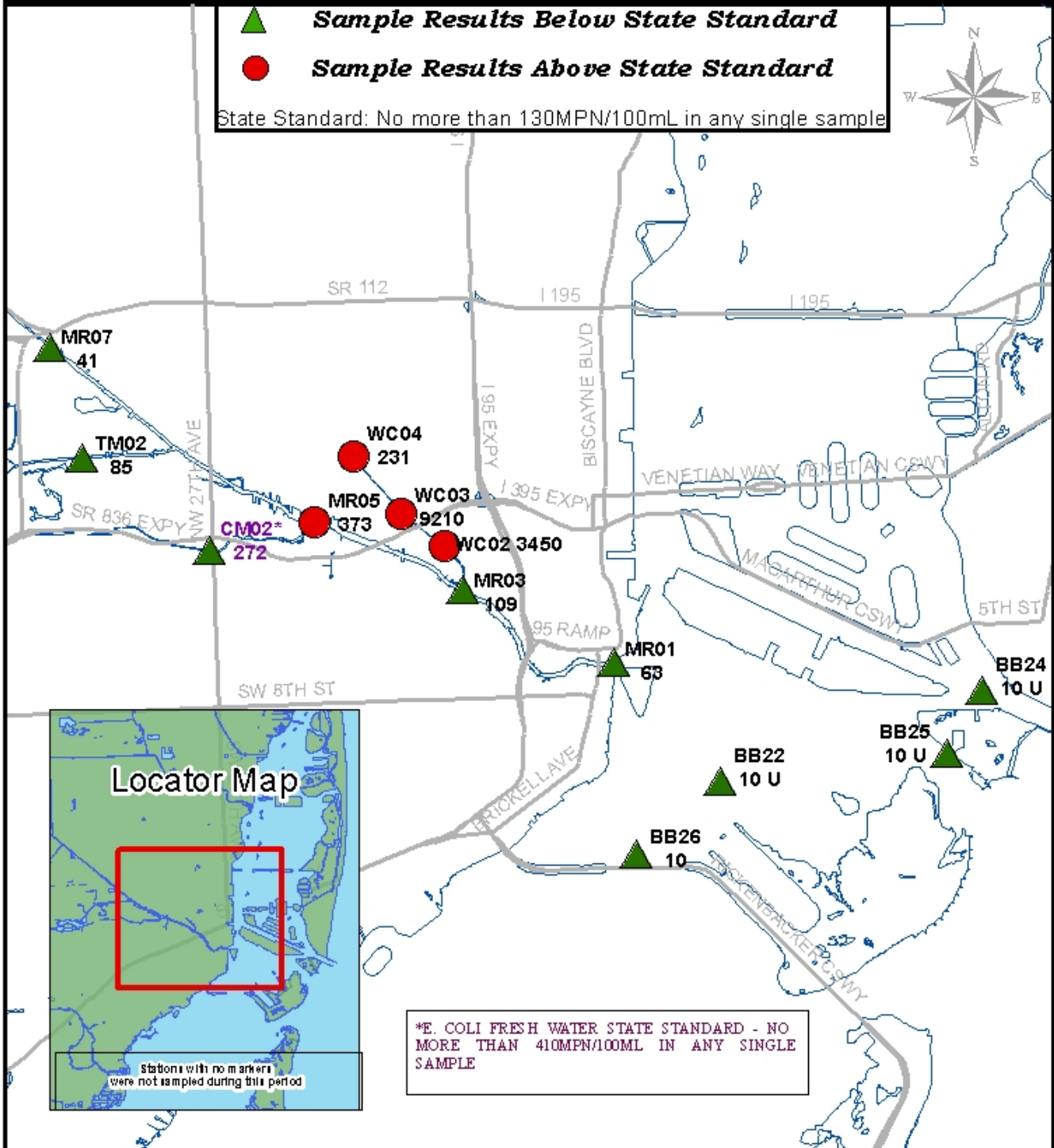


Figure 2.

# Biscayne Bay Surface Water Quality Monitoring Program

## Enterococci Bacteria Sample Compliance

### December 2021

#### Miami River and Tributaries

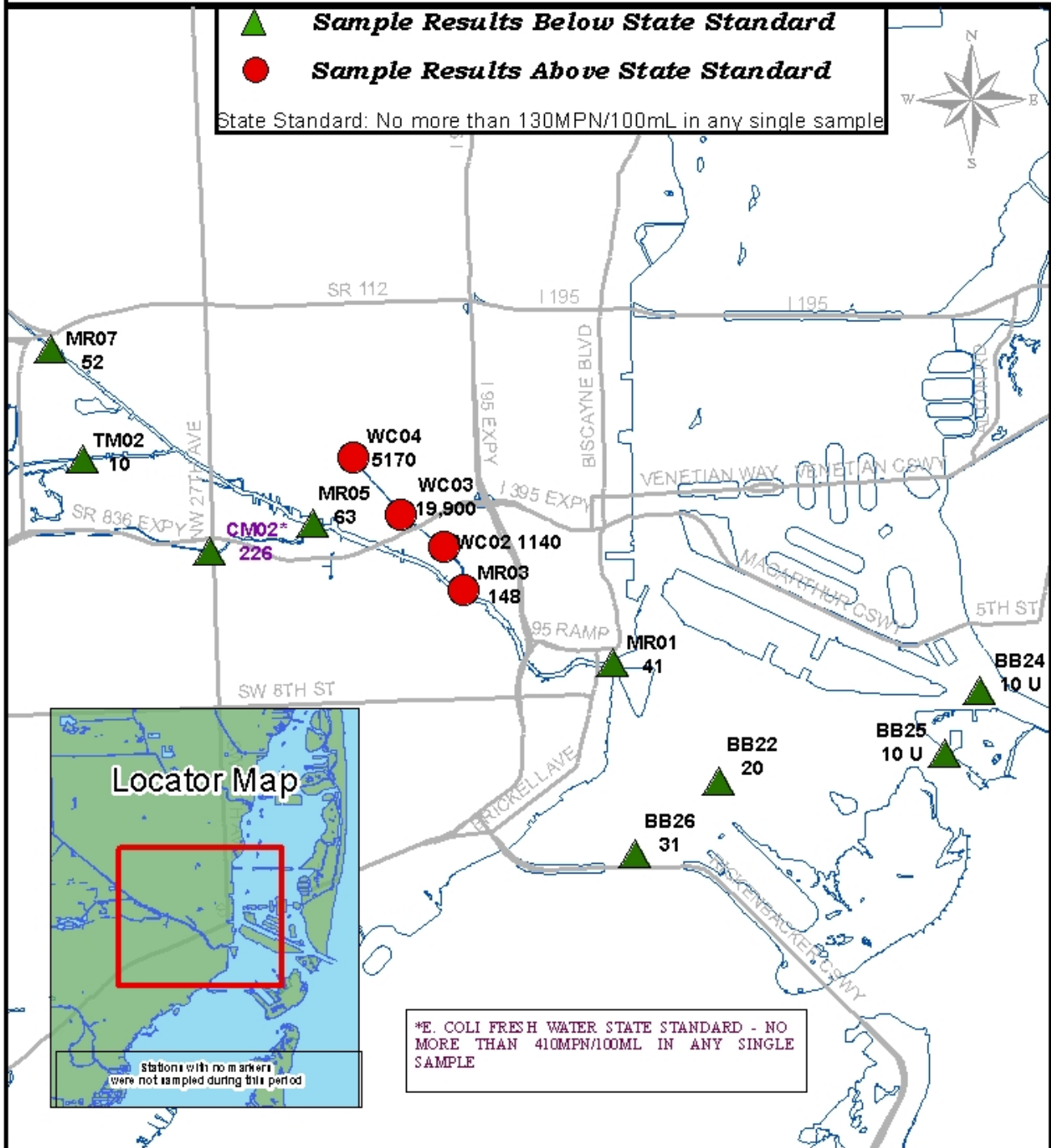


Figure 3.



# Biscayne Bay Surface Water Quality Monitoring Program

## Quarterly Summary of Enterococci Sample Compliance

### October to December 2021

### Miami River and Tributaries

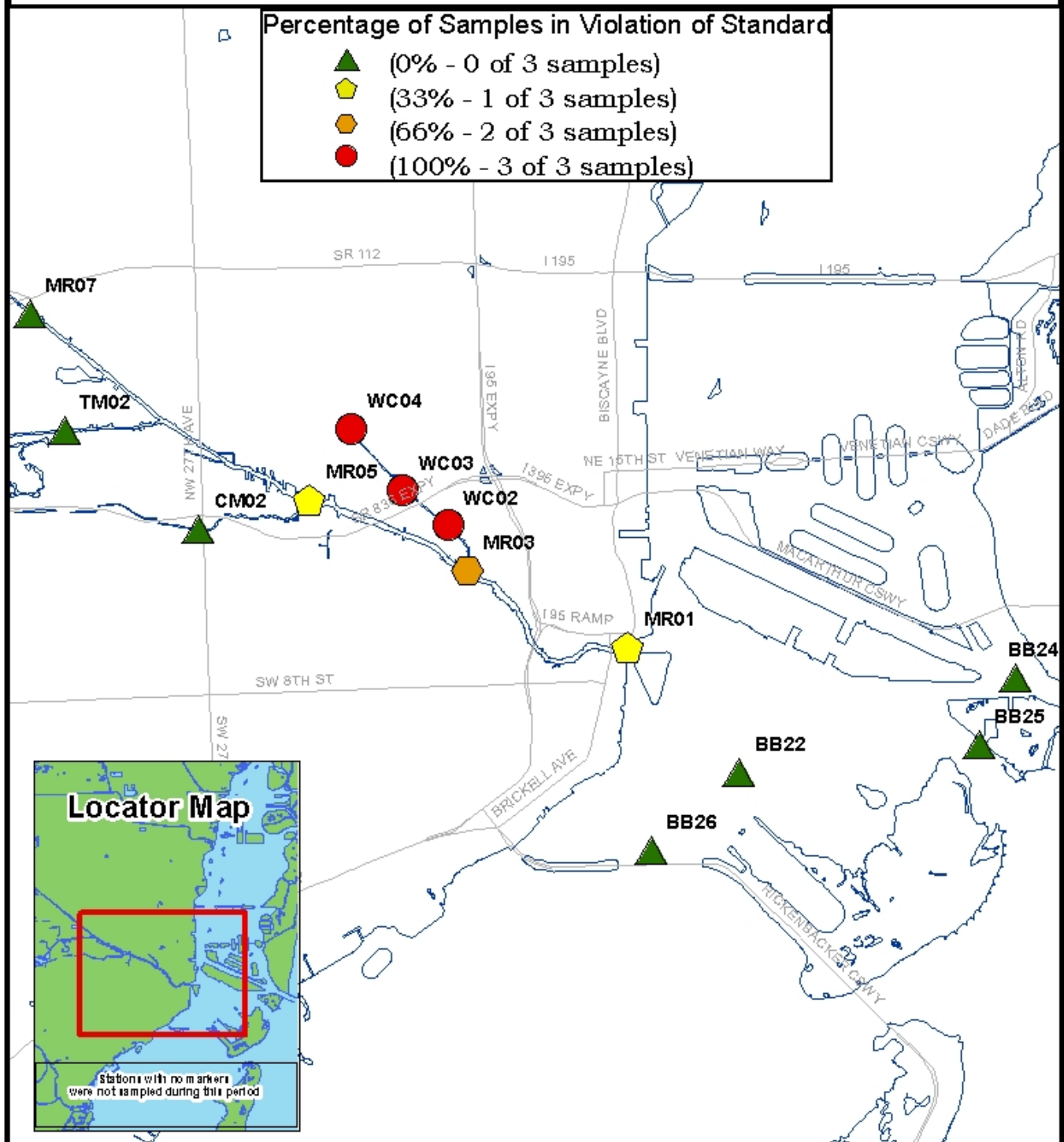


Figure 4.

**Table 1.**

MONTHLY INDICATOR BACTERIA LEVELS (cfu's/100 ml) IN WAGNER CREEK								
	MR03		WC02		WC03		WC04	
Parameter	Entero	E.Coli	Entero	E.Coli	Entero	E.Coli	Entero	E.Coli
October	203*	218	8660*	8160*	6130*	2600*	4880*	8660*
November	109	262	3450*	2310*	9210*	8160*	231*	443*
December	148*	209	1140*	594*	19900*	24196*	5170*	24196*

A "\*" indicates results that exceed the State's E. Coli Standard (410 cfu/100ml) or Enterococci (130 cfu/100ml); a "0" indicates that the true value was below the method detection limit.

**Fourth Quarterly Report, 2021**  
(October-December 2021)

**Action Item:**

- 5. Management
  - d. Establish standardized water quality tracking for key characteristics

<b>Lead Agency:</b>	Miami-Dade County DERM
<b>Contact Name</b>	Omar Abdelrahman DERM
<b>Address</b>	701 NW 1 <sup>ST</sup> Court Miami, FL 33136
<b>Telephone</b>	(305) 372-6872
<b>Fax</b>	(305) 372-6630
<b>e-mail</b>	<a href="mailto:abdelo@miamidade.gov">abdelo@miamidade.gov</a>

**Action Item Status:**

This report presents selected results of the water quality monitoring that occurred in the Fourth Quarter (October-December) of 2021 for Bacteriological parameters, Ammonia, Total Phosphorus, and Turbidity. Due to the extensive nature of the database, it is not feasible to track each parameter collected at each station for the period of record. Therefore, representative parameters have been selected to achieve the objective of this Action Item. Current water quality trends will be tracked by plotting the actual sample results of several key parameters (see Charts 1-14 for graphs of Ammonia Nitrogen, Total Phosphorus, Bacteriological Indicator species, and Turbidity data) throughout the river.

All currently monitored stations in the river were included with each parameter plotted on 3 separate graphs each representing the lower river, upper river, and Wagner Creek (See maps presented under action item 4.a for station locations). Data are plotted in time series from the previous ten-year (2011-2021) period, except for Enterococcus and Escherichia Coli which only have 4 years of data available. For further comparison, the target values developed under Action Item 4.f are plotted, and where applicable, the existing state or county standard for each parameter is shown.

Chart 1.

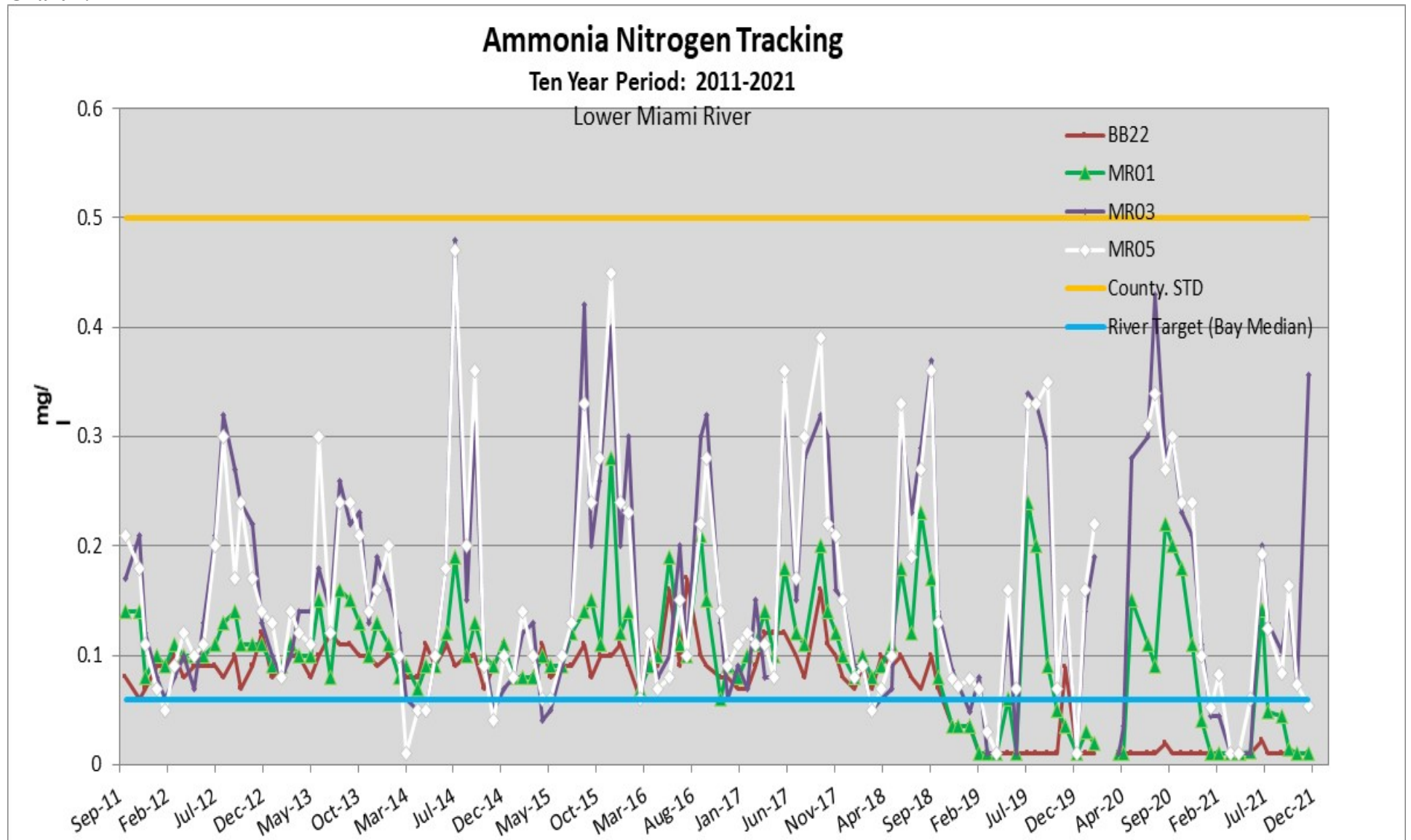


Chart 2.

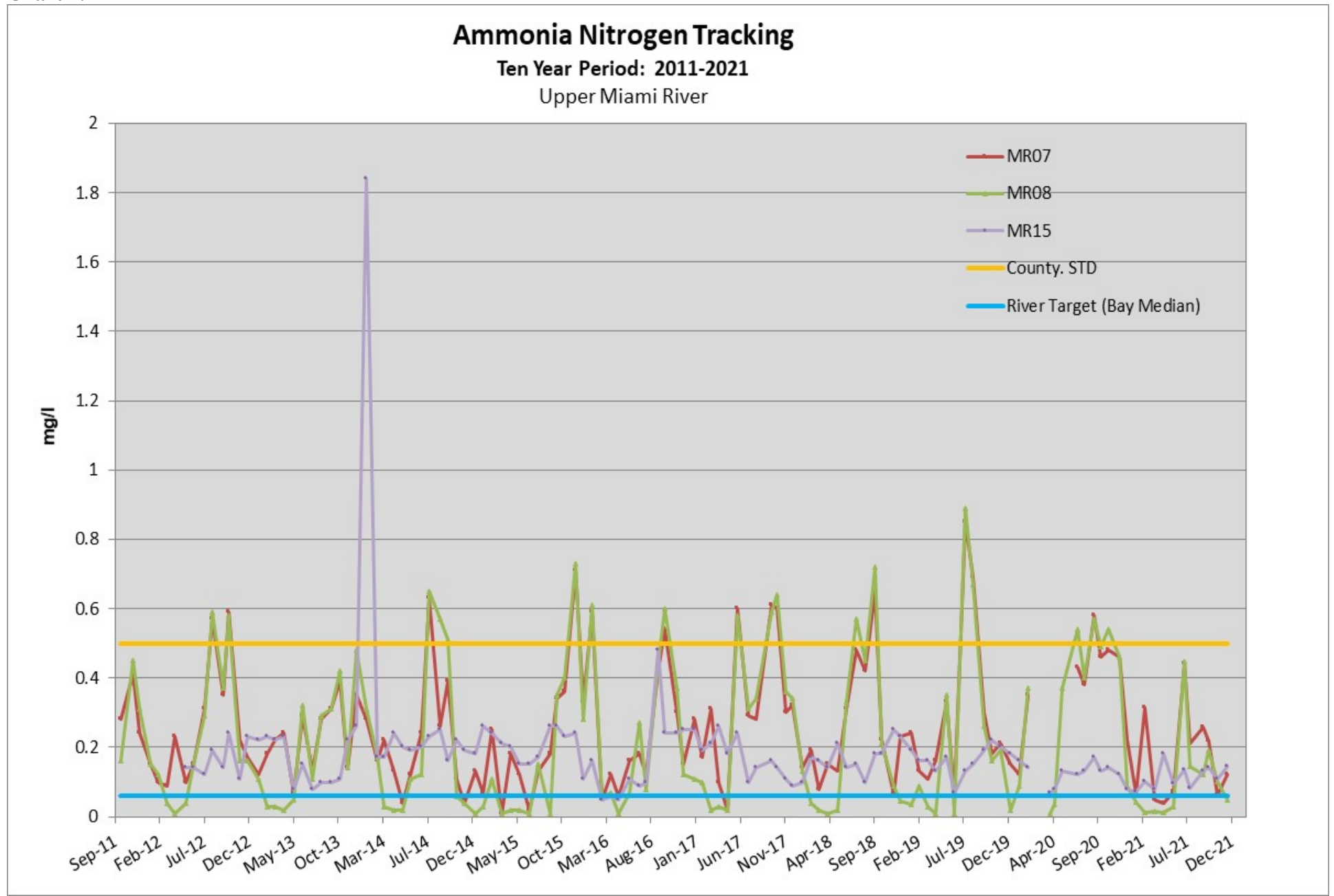


Chart 3

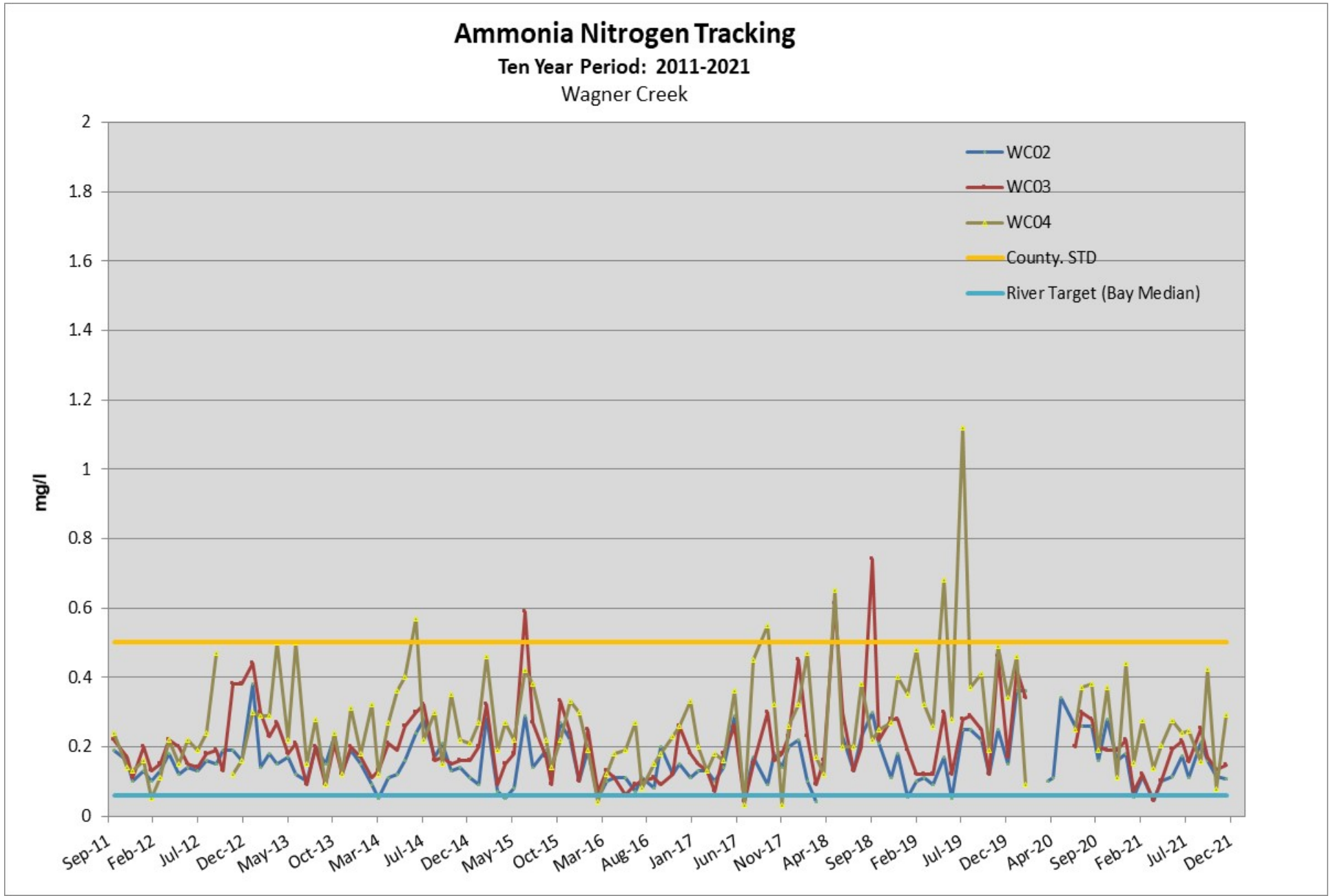


Chart 4.

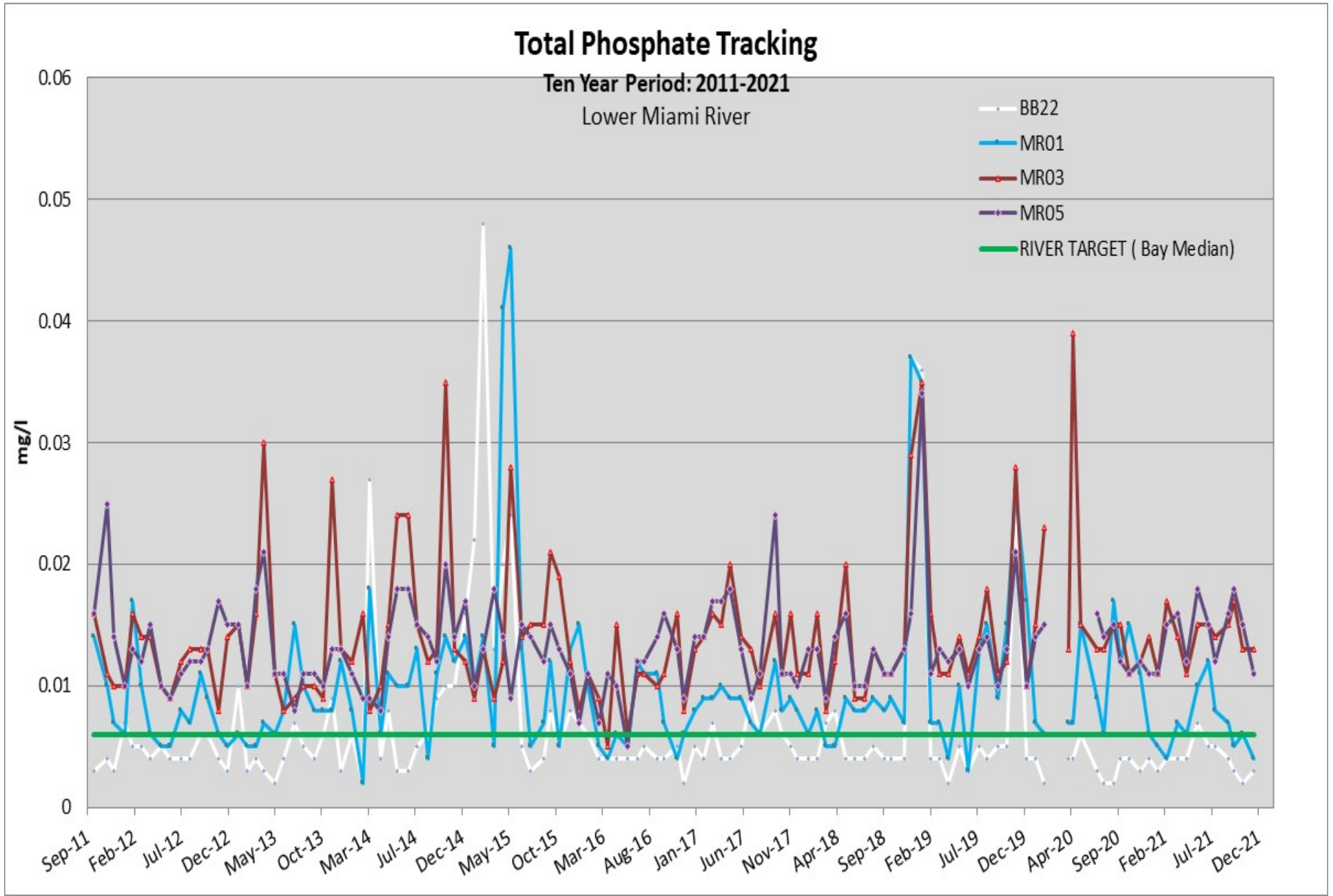


Chart 5.

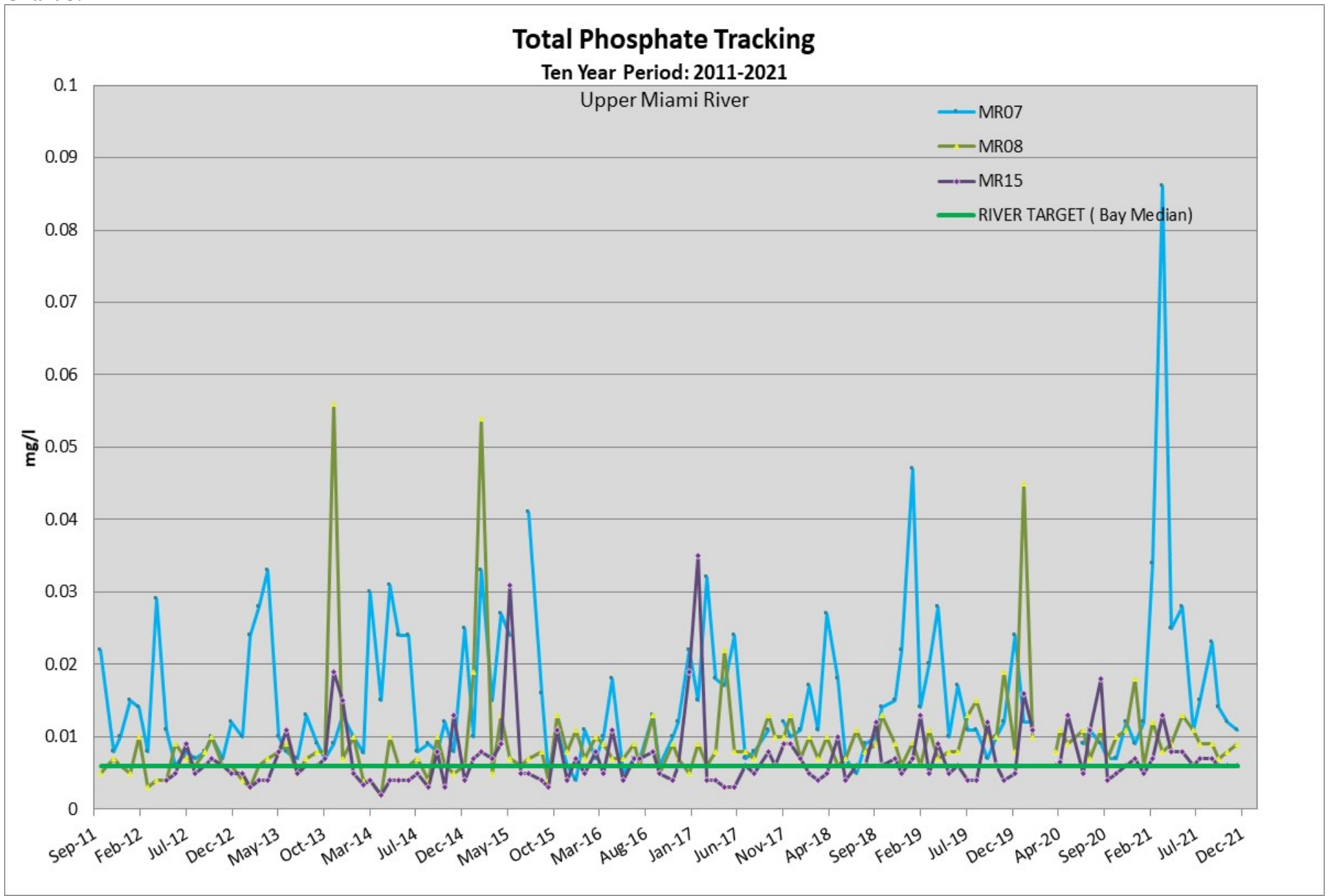




Chart 6.

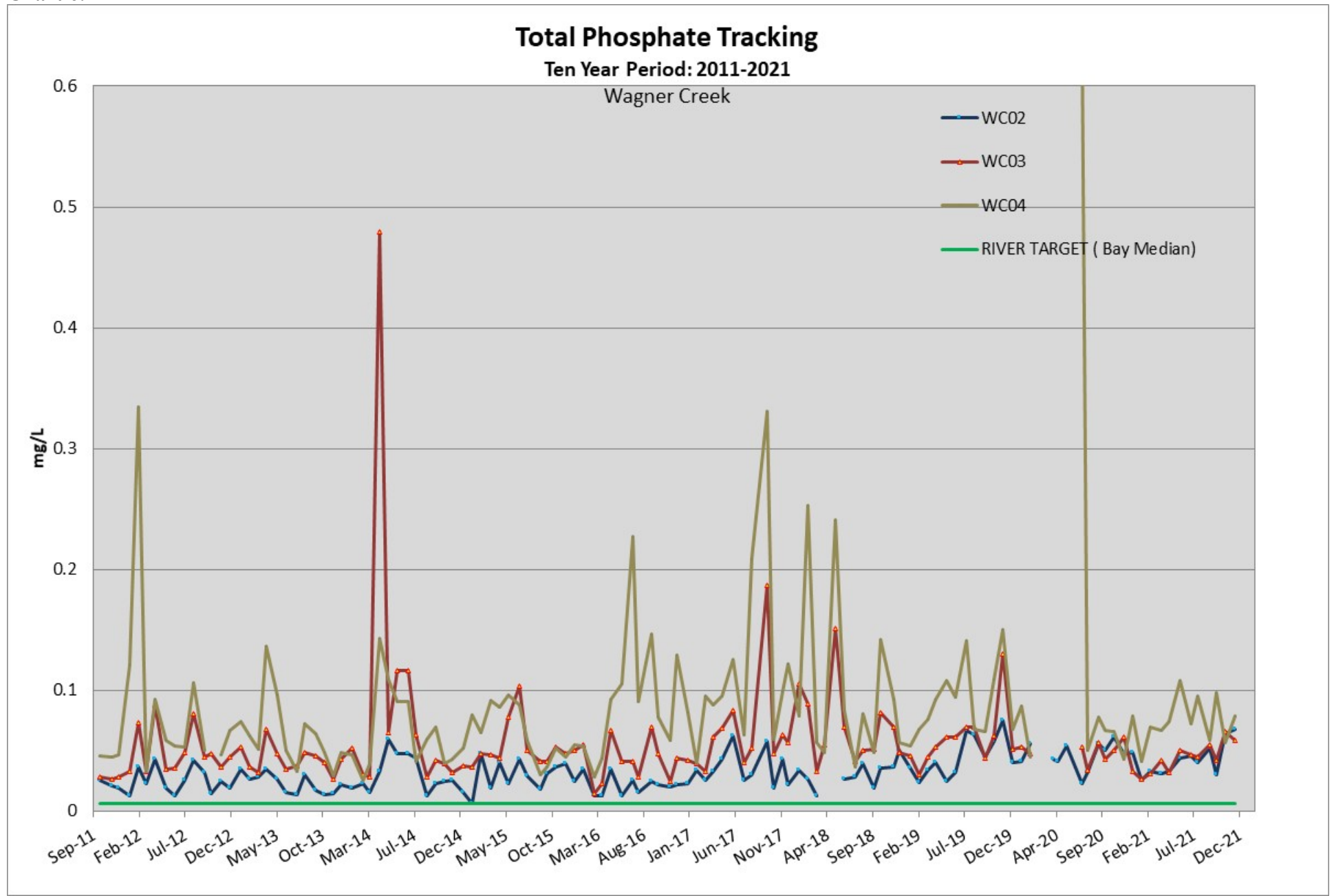


Chart 7.

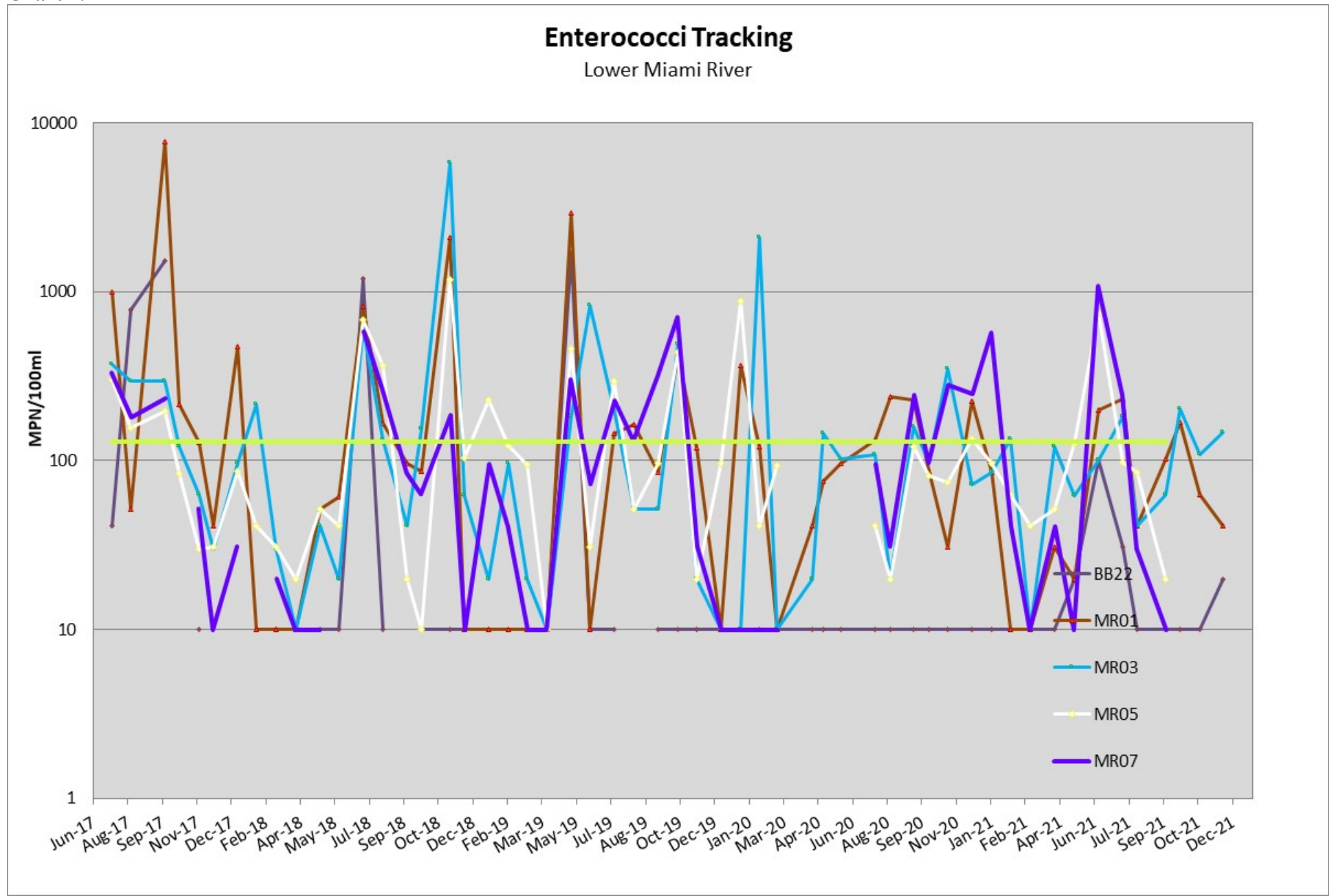


Chart 8.

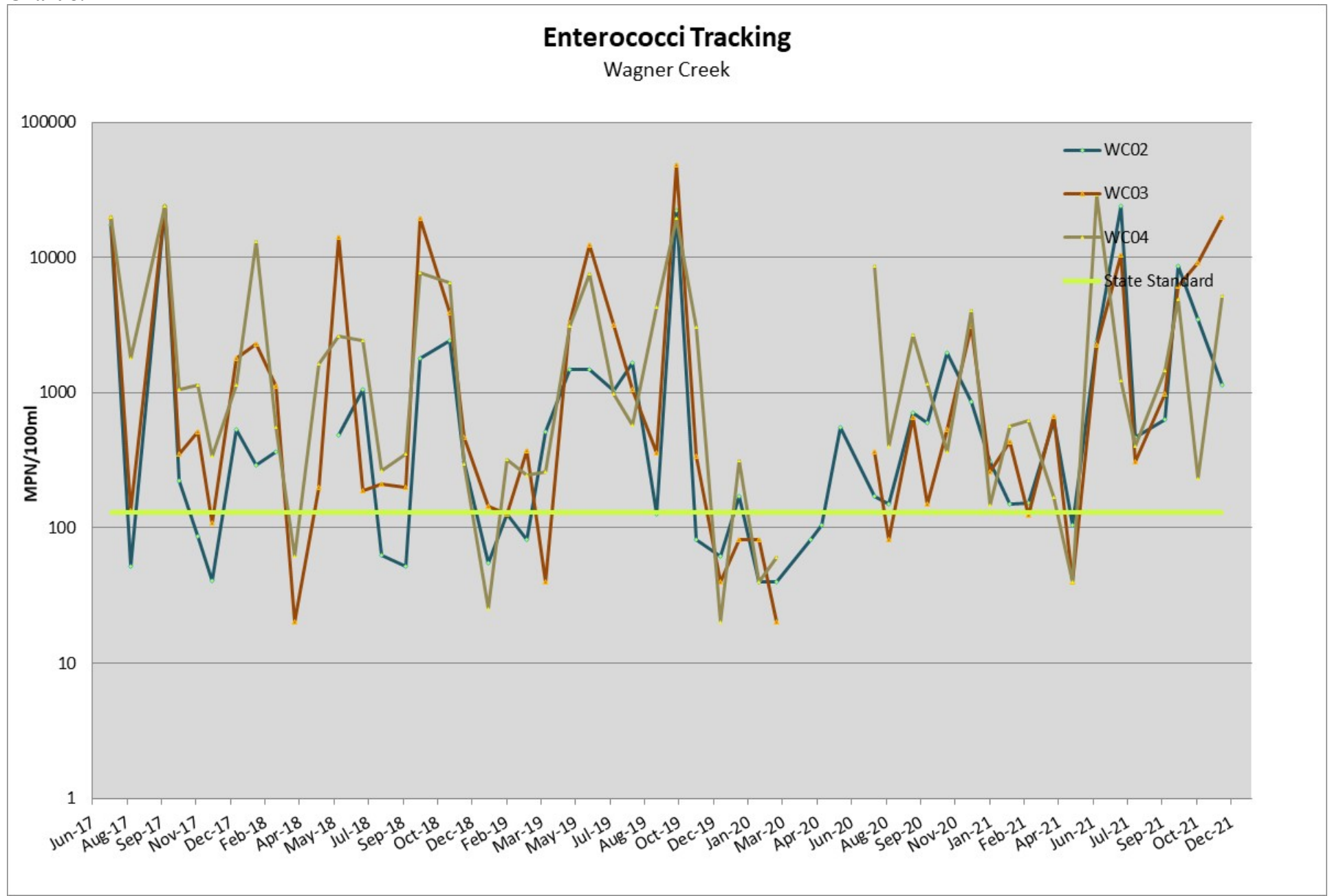


Chart 9.

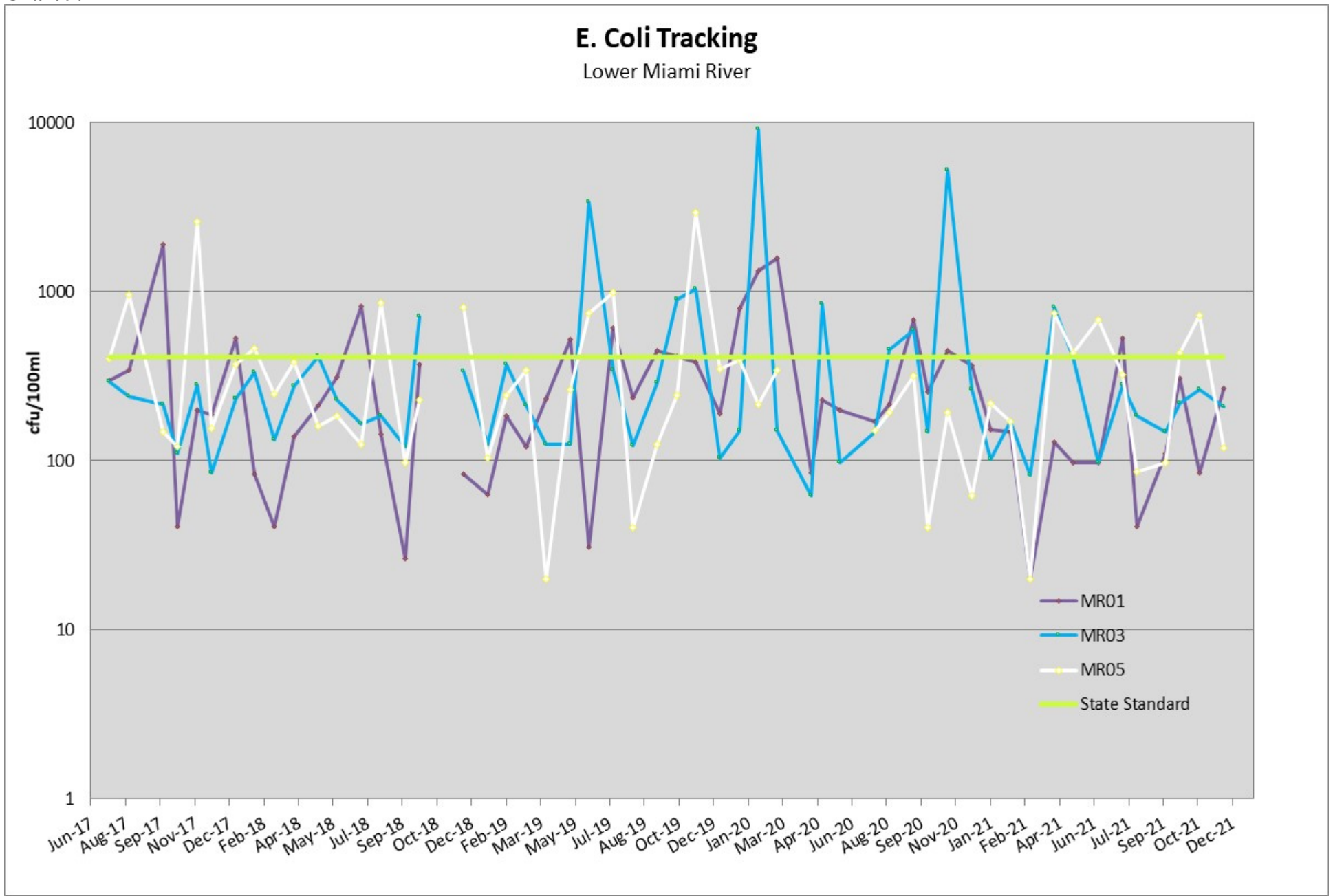


Chart 10.

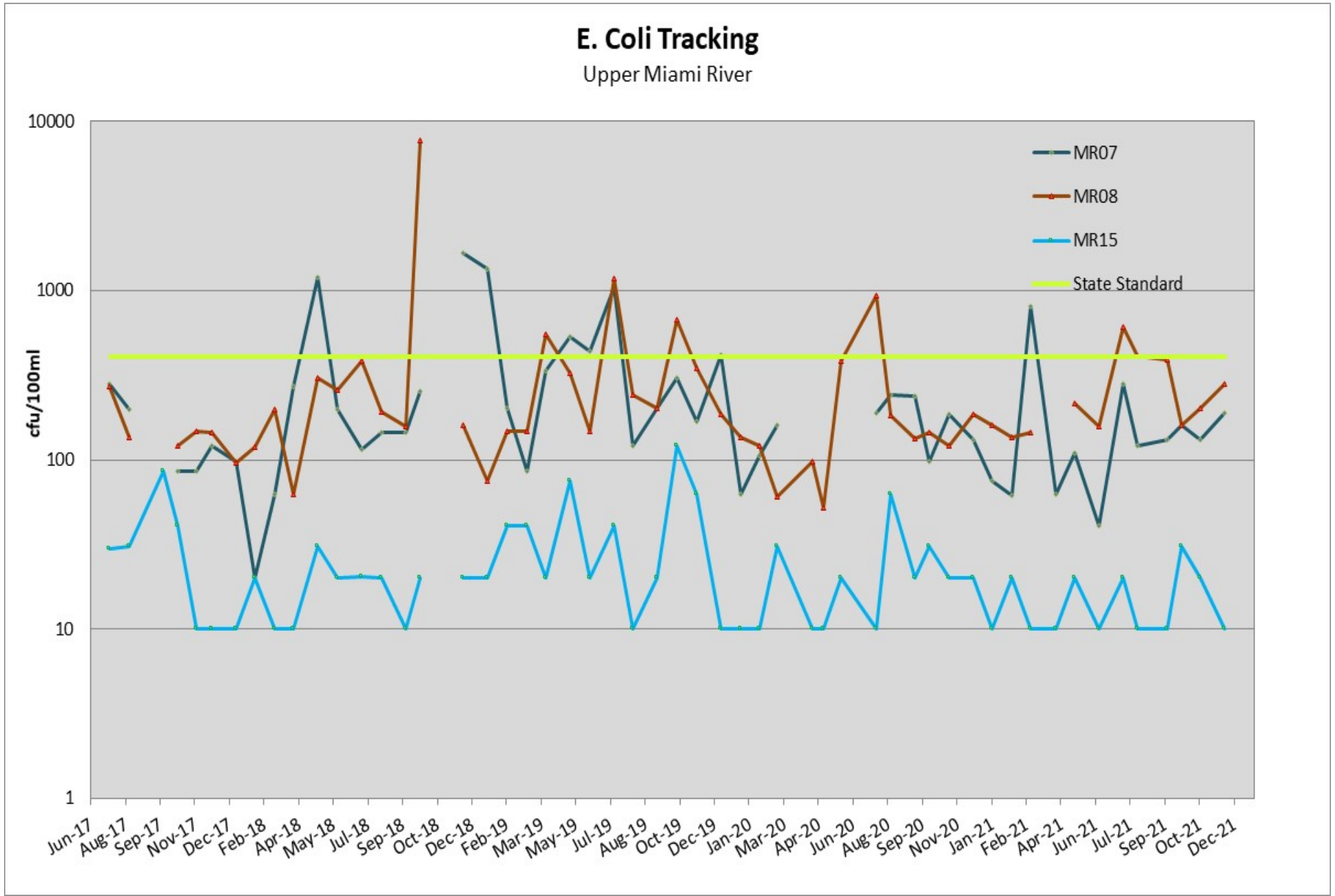


Chart 11.

### E. Coli Tracking Wagner Creek

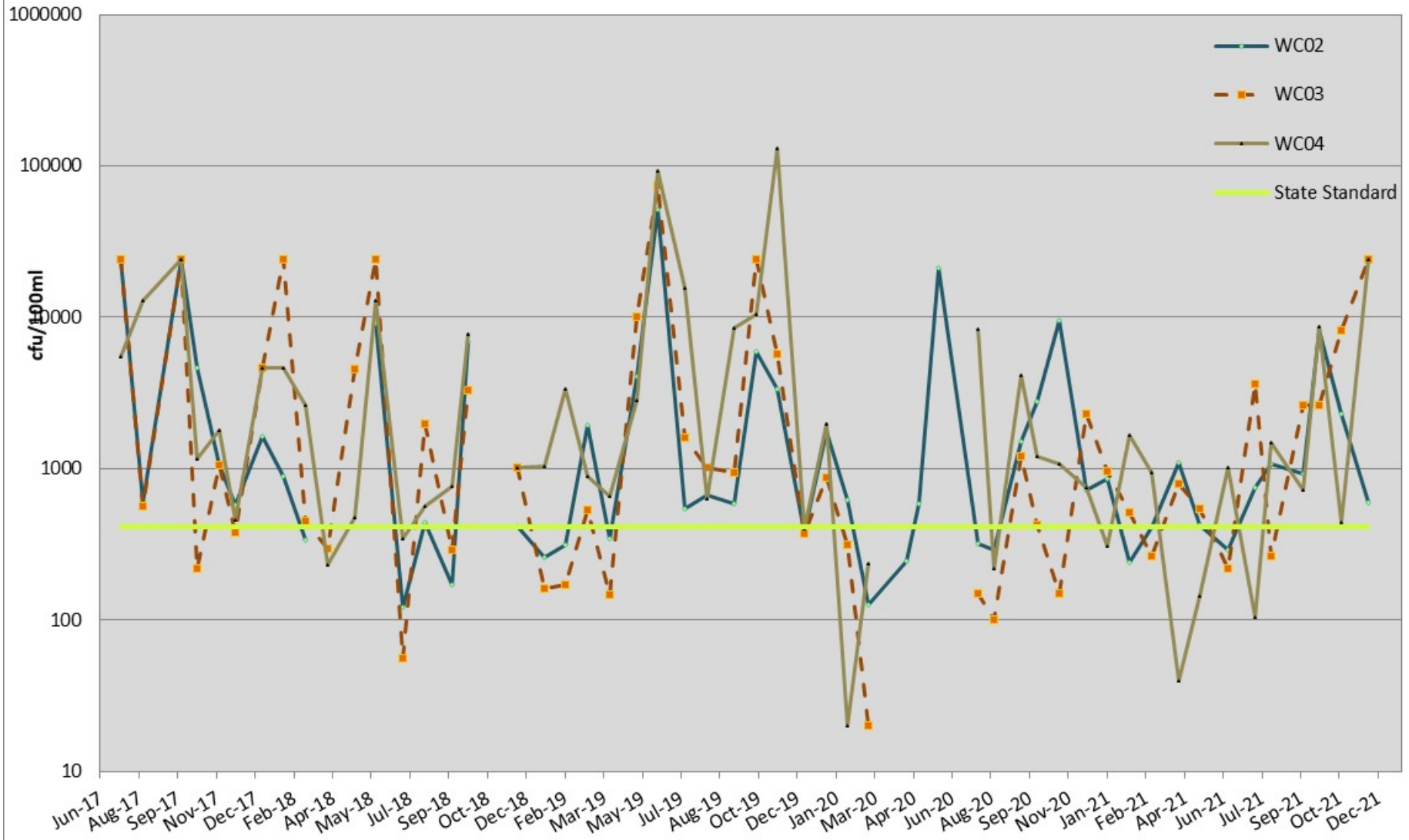


Chart 12.

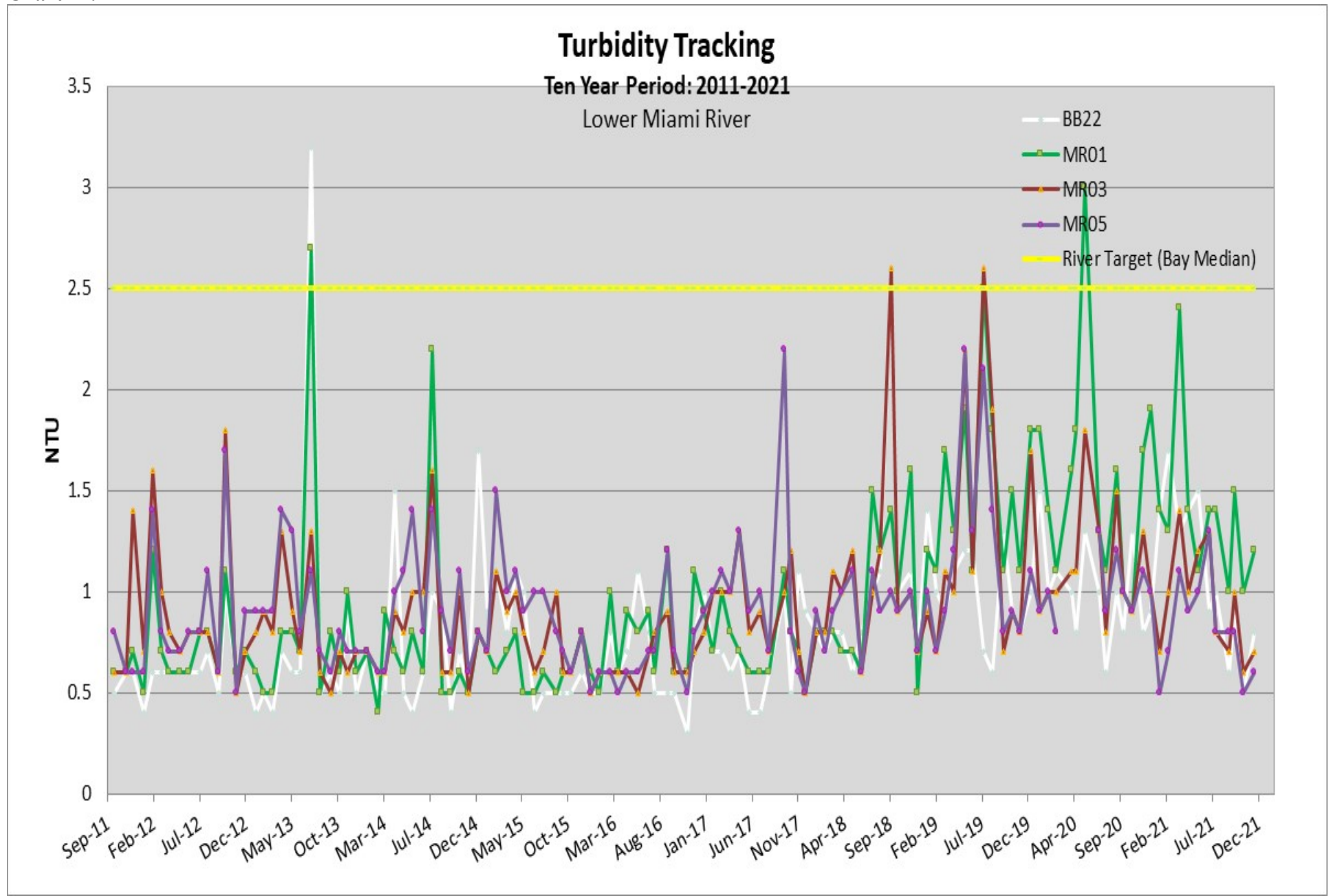


Chart 13.

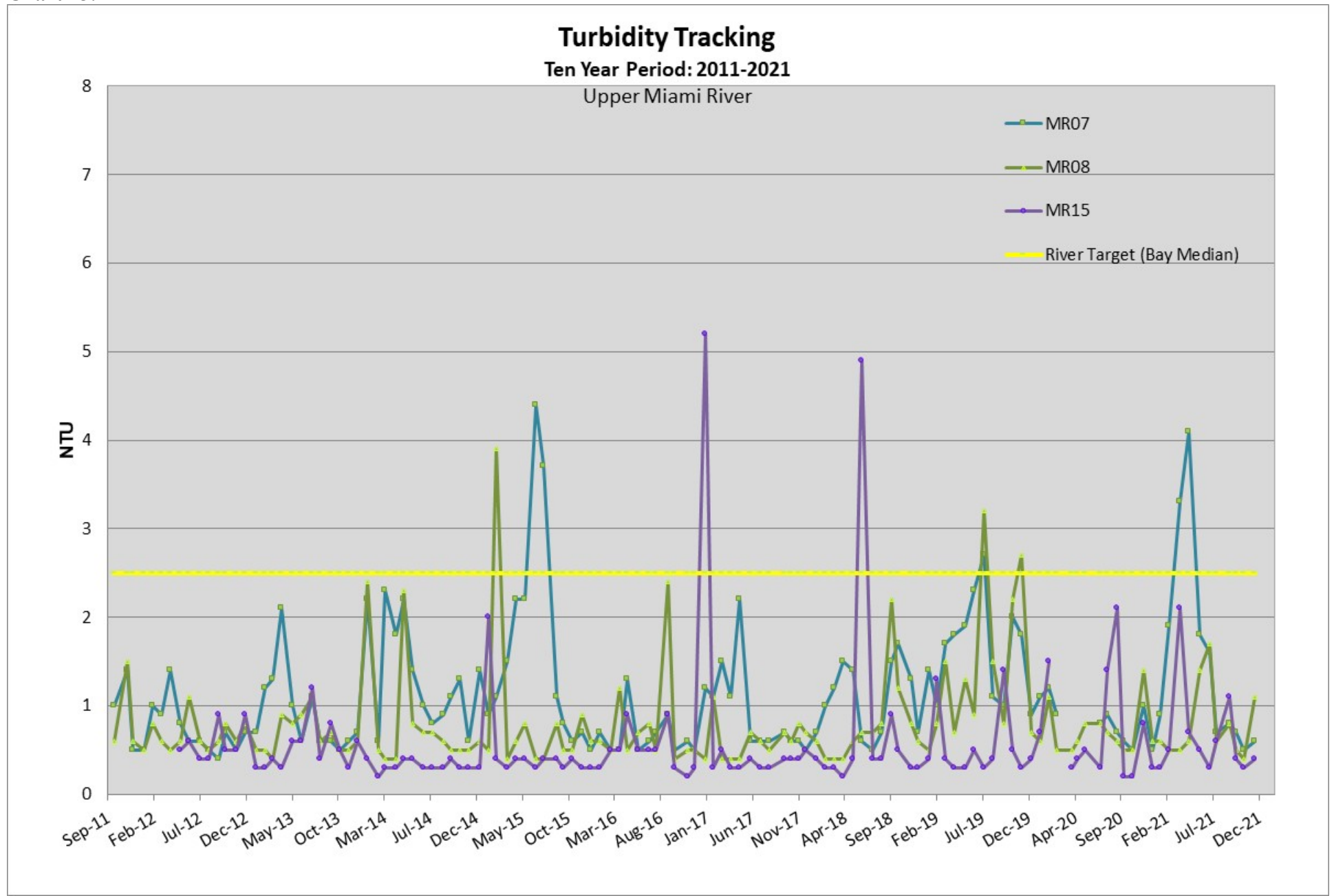




Chart 14.

